

JANUARY 2022

DESIGN AND ACCESS STATEMENT

MONARCH PARK, STAMFORD



Quality Assurance:

Site name: Monarch Park, Stamford

Client name: Allison Homes

Type of report: Design and Access Statement

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Signed: 

Date: December 2021

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Date: December 2021

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1.0

INTRODUCTION

An introduction to the project, outlining the purpose and structure of this Design & Access Statement.

1.1 INTRODUCTION

On behalf of Allison Homes, this Design and Access Statement has been prepared to accompany an outline planning application for a sustainable new development providing up to 650 new dwellings and associated development on land at Monarch Park, to the north-west of Stamford.

This document will demonstrate the process of analysis and evaluation which has been undertaken to determine the physical qualities of the development site, the pertinent planning requirements and the relationship between the site and the wider cross boundary allocation (the site being located within Rutland County Council, whilst the allocation includes land within South Kesteven District Council). The document comprises the following sections:

INTRODUCTION

The introduction gives a high-level overview of the project, outlining the purpose and structure of the Design & Access Statement. It explains how the proposals respond to local context, amenities and connectivity.

BASELINE ANALYSIS

An assessment of the site mapping data including historical, topographical, landscape and flood risk mapping to determine the key considerations and constraints of the site.

VISION AND OBJECTIVES

This chapter sets out the key vision for the site and the development objectives, as determined through the baseline analysis.

ENGAGEMENT

This section explains the public consultation and stakeholder engagement undertaken on the development proposals which has been used to inform the emerging master plan.

DEVELOPMENT PRINCIPLES

This chapter proposes a suite of development principles for the site, informed by the design process undertaken and will cover topics such as access, open space, land use and developable areas.

An illustrative master plan for the site is proposed and explained.

SUMMARY AND CONCLUSION

A summary of the main features of the proposals and how they respond to the local context of the site is included in this section.



Figure 1; Site Location

The site is located to the north-western edge of Stamford, adjoining the county boundary with South Kesteven District Council.

In developing a new Local Plan for Rutland County Council, the authority assessed the development needs for the neighbouring authority of South Kesteven District through the Duty to Co-operate requirements.

This concluded that the Quarry Farm site within Rutland will be required as part of a larger urban extension to support the sustainable growth of Stamford and to facilitate an appropriate road connection and necessary infrastructure improvements. Whilst the new Local Plan was subsequently withdrawn in September 2021 the principle of requiring the site for the wider urban extension remains.

The Monarch Park site measures 65.4ha in size and is characterised by the remnants of the former brickworks clay and stone quarry pits, mature and scrub woodland, agricultural fields and grasslands.

There is a Scheduled Monument (SAM) located adjacent to the south western boundary of the site on the Old Great North Road (B1081). An additional SAM is located in Casterton to the north west of the site and is the site of a former Roman Town. A small SSSI named Great Casterton Road Banks is also located to the west of the site.

Public Rights of Way within 2km of the Site include Sustrans Cycle Route 63 which connects Peterborough and Leicester. There is a network of Public Footpaths and Bridleways surrounding the site with a number of informal tracks also running through the site.



Stamford is the second largest town in South Kesteven, and is renowned for its heritage, architecture and character. The town serves a large number of communities located in the east of Rutland and in the south of South Kesteven as the principal urban centre.

Stamford offers various employment opportunities, a large number of services and facilities, various education options and excellent bus and rail links.

The town is served directly by the A43, A6121, A1175, A606 and B1081, which the south western boundary fronts on to, with links to the A1 at the western edge of the town. Stamford Railway Station is located approximately 3km to the south of the site location which is within a 30 minute walk / 10 minute cycle.

The town's bus services provide links to the majority of nearby settlements and the railway station provides direct links to Birmingham to the west and Peterborough to the east.



Figure 2; Regional Site Location

1.4 LOCAL AMENITIES



Stamford town centre is located approximately 1.8 km to the south east of the site.

Between the site and the town centre, there are a number of local amenities available. These are illustrated on figure 3 below.

- Site boundary (65.40ha)
- 1km from centre of the site
- 1 Stamford Welland Academy
- 2 Bluecoat County Primary School
- 3 St Gilbert's C of E Primary School
- 4 Malcolm Sargent Primary School
- 5 Great Casterton C of E Primary School
- 6 Casterton College Rutland
- 7 The Crown Pub
- 8 Danish Invader Pub
- 9 The Hurdler Pub
- 10 Playing Fields, Rugby Ground and Indoor Bowls Club
- 11 Clear Ridge Veterinary Surgery
- 12 Highgrove Gardens Play Park
- 13 Tennis Courts and Papworth Blasters Football Club
- 14 Stamford Garden Centre
- 15 BP Garage
- 16 Casterton Convenience Stores
- Bus stops with routes to Stamford, Oakham, Bourne and Peterborough

Figure 3; Local Amenities Location

1.5 EXISTING HEALTHCARE SERVICES



Stamford town centre is located approximately 1.8 km to the south east of the site.

Between the site and the town centre, there are a number of healthcare services. These are illustrated on figure 4 below.


















-  Site boundary (65.40ha)
-  1km from centre of the site
-  1 Stamford and Rutland Hospital
-  2 Stamford Dental Care
-  3 Amazing Smile Teeth Whitening
-  4 Bupa Dental Care Stamford
-  5 JF Hawkins Dental
-  6 Broad Street Practice (Osteopath)
-  7 Stamford Chiropractic
-  8 Healthy Hearing
-  9 Total Health Clinics Stamford
-  10 Point of Health
-  11 The Stamford Eye Clinic
-  12 Vision Express
-  13 Pirrie Optometrists
-  14 Scrivens Opticians and Hearing Care
-  15 Specsavers Opticians and Audiologists

Figure 4; Local Amenities Location





2.0

BASELINE ANALYSIS

This section of the document summarises the relevant planning policy associated with the site and this type of development, and also provides an assessment of the site's mapping data including historical, topographical and flood risk to determine the key considerations and constraints of the site.

2.1 PLANNING POLICY CONTEXT

The following provides an overview of the local and national planning policy relevant to design and access considerations of the outline planning application.

The Development Plan

The Development Plan comprises the Core Strategy, adopted 2011, the Site Allocations and Policies Plan adopted 2013 and the Minerals Core Strategy and Development Control Policies adopted 2010. There are a number of made and emerging Neighbourhood Plans within Rutland but none include the Site.

This Design and Access Statement and the scheme in general has been prepared in the context of an emerging site allocation, with the site proposed for residential development (up to 650 dwellings) in the Rutland Local Plan (RLP) under Policy H4. The RLP was submitted for examination in February 2021. However, this was withdrawn in September 2021. On this basis no further assessment of the policies within the RLP is included within the Design & Access Statement as the RLP policies have no weight in the decision making process.

The development proposals have similarly had regard for the emerging Stamford North Development Brief, which was to be a Supplementary Planning Document, and have adopted many of the principles that were identified in this document. The production of the Development Brief was being led by the two local planning authorities, South Kesteven District Council and Rutland County Council, in collaboration

with Allison Homes and Savills (the Burghley House Preservation Trust's (BHPT) advisers). However, following the withdrawal of the RCC Local Plan, we understand that the two LPAs have ceased work on the Development Brief. Allison remain committed to the principles of a comprehensive strategy for development covering the whole Sustainable Urban Extension. Therefore they have continued to work on the preparation of the Development Brief with BHPT and this will be submitted alongside the planning application documentation. The principal objective of the developer prepared Development Brief is to demonstrate their collaboration on the Stamford North SUE in delivering the required infrastructure for the wider site.

The Planning Statement undertakes a full assessment of planning policy but the most relevant policies for the purpose of the Design & Access Statement are as follows:

Core Strategy (2011)

- CS10 – Housing Density and Mix
- CS18 – Sustainable Transport and Accessibility
- CS19 – Promoting Good Design
- CS23 – Green Infrastructure, Open Space, Sport and Recreation

Site Allocations and Policies Plan (2013)

- SP15 – Design and Amenity
- SP19 – Biodiversity and Geodiversity Conservation

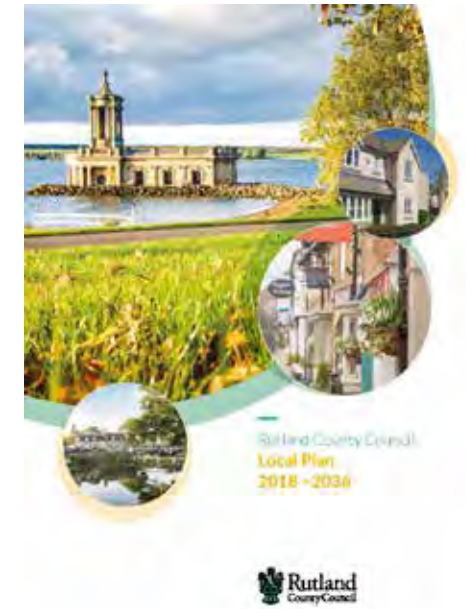


Figure 5; Rutland County Council Local Plan

- SP20 – The Historic Environment
- SP22 – Provision of Open Space
- SP23 – Landscape Character in the Countryside

National Planning Policy Framework (2021)

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England. The purpose of the planning system is to contribute to the achievement of sustainable development. Sustainable development means development that meets the needs of the present without compromising the ability of future generations to meet their own needs.

Chapter 12 - Achieving well-designed places specifically addresses design issues. Paragraph 130 stipulates that planning policies and decisions should aim to ensure that developments:

a) will function well and add to the overall quality of the area, not just for the short term over the lifetime of the development;

b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;

c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);

d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;

e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

Paragraph 131 specifically identifies that *“Trees make an important contribution to the character and quality of urban environments, and can also help mitigate*

and adapt to climate change. Planning policies and decisions should ensure that new streets are tree-lined, that opportunities are taken to incorporate trees elsewhere in developments (such as parks and community orchards), that appropriate measures are in place to secure the long-term maintenance of newly-planted trees, and that existing trees are retained wherever possible. Applicants and local planning authorities should work with highways officers and tree officers to ensure that the right trees are planted in the right places, and solutions are found that are compatible with highways standards and the needs of different users.”

National Design Guide (2019)

The National Design Guide (2019) illustrates how well designed places that are beautiful, enduring and successful can be achieved in practice. It forms part of the Government’s collection of planning practice guidance and should be read alongside the separate planning practice guidance on design process and tools.

Stamford Neighbourhood Plan

The Stamford Neighbourhood Plan gives the opportunity to for Stamfordians to influence the way in which their town will develop. The Plan sets out a number of community objectives for the town, including an objective (Community Objective 6) which ensures *‘Stamford retains and enhances its open green access on all approaches to the town through the improvement of the identified Green Wheel network and through the designation of the important Green Spaces around*

the town. The creation of new attractive, well designed and connected open spaces on all new development are welcomed and are vitally important to the continued development and connection of the Green Infrastructure within the town.’

A separate objective (Community Objective 1) To supports *‘the development of the Urban Extension being allocated to the North and East of Stamford, which has been identified within the South Kesteven Local Plan. The Urban Extension must be well integrated and provide the necessary infrastructure to meet the housing needs of the local population, whilst encouraging new residents and businesses to locate to the town.’*

The Green Wheel seeks to work with the appropriate local authorities and landowners to create a green wheel which circumnavigates the town with the aim of *‘creating a traffic free pathway for cyclists and pedestrians.’*

2.2 DEVELOPMENT BRIEF

The Stamford North Development Brief was jointly prepared by Rutland County Council and South Kesteven District Council with input from developers and landowners over the period 2018 to 2021 which sets out the strategic principles for the development of the Stamford North SUE. However, following the withdrawal of the RCC Local Plan, we understand that the two LPAs have ceased work on the Development Brief. As a result, the Development Brief will be submitted alongside the application.

Allison Homes remain committed to the implementation of a comprehensive strategy covering the extents of the Sustainable Urban Extension. They have, therefore, continued to work on the principles set out within the Development Brief to ensure development and its associated infrastructure is integrated within the wider Stamford North SUE. The Development Brief will form part of the planning application documentation to demonstrate this commitment.

KEY DESIGN PRINCIPLES

A number of key design principles have been established, which form the practical foundations of the brief, these are as follows:

- To deliver a distinctive and sustainable, new urban extension to Stamford containing a series of distinctive neighbourhoods that will serve both the new community and the existing residents on the

north side of the present town.

- To knit the development in to its context, including the adjacent residential areas, open spaces, footpaths and surrounding landscape.
- To provide a range of homes and community facilities for all ages.
- To establish strong, attractive vehicular, cycle, and pedestrian connections between Stamford North and the surrounding area.
- To create a well-designed development that complements Stamford's distinctive qualities, ensuring that a unique and distinctive character is achieved that genuinely delivers a unique sense of place, as set out in the emerging Neighbourhood Plan.
- To integrate green, ecologically positive, spaces into the structure of the development.
- To encourage healthy lifestyle choices through good design.
- To strive to meet the highest environmental standards.
- To embed education and employment within the heart of the community.
- To ensure sustainable energy sources are woven into the fabric of the developments design.
- To deliver a new main street running east-west through the development.
- To provide good and safe access for public transport.

These principles will underpin the development of Monarch's Park as part of Stamford North's Strategic Urban Extension.

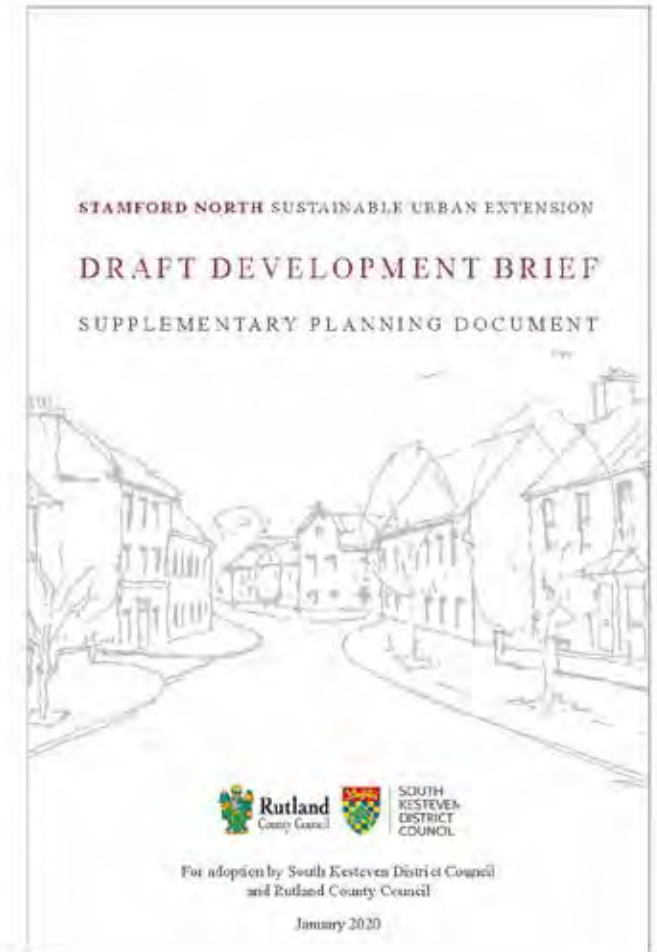
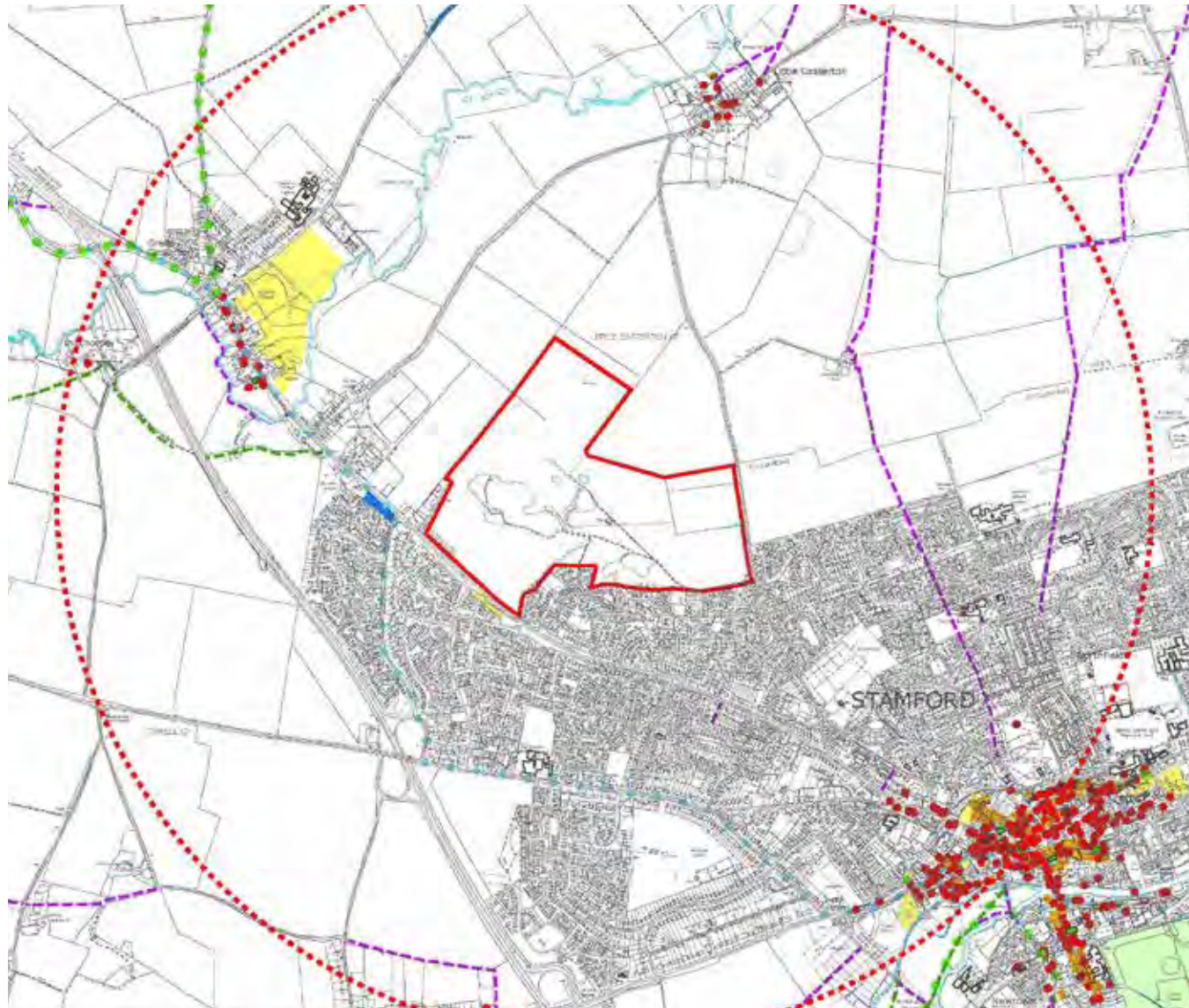


Figure 6; Stamford North Sustainable Urban Extension



Figure 7; Stamford North Sustainable Urban Extension Master Plan by Adam Urbanism

2.3 DESIGNATIONS



There are a number of designations located within 2km of the site, including a number of heritage assets, the majority of which are located in the centre of Stamford.

There is a SAM located adjacent to the south western boundary of the site on the Old Great North Road (B1081). An additional SAM is located in Casterton to the north west of the site and is the site of a former Roman Town. A small SSSI named Great Casterton Road Banks is also located to the west of the site.

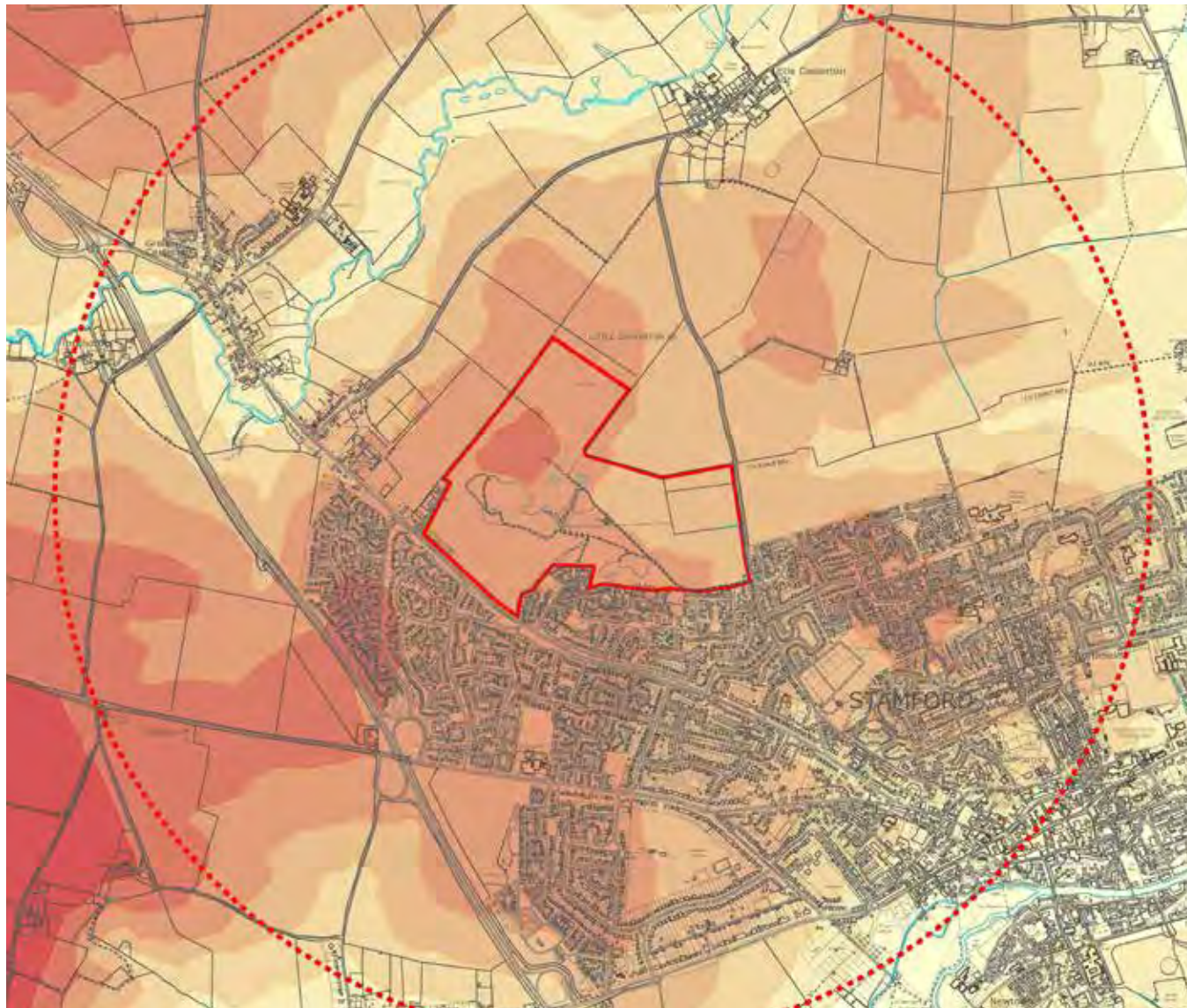
Public Rights of Way within 2km of the Site include Sustrans Cycle Route 63 which connects Peterborough and Leicester. There is also a network of Public Footpaths and Bridleways which surround the site.



Figure 8; Designations

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2.4 TOPOGRAPHY



The site is located to the northern side of Stamford, with landform sloping upwards towards the north and west of the site, and sloping down towards the River Welland in the south which runs through Stamford, with a more localised low area to the north, associated with the River Gwash.

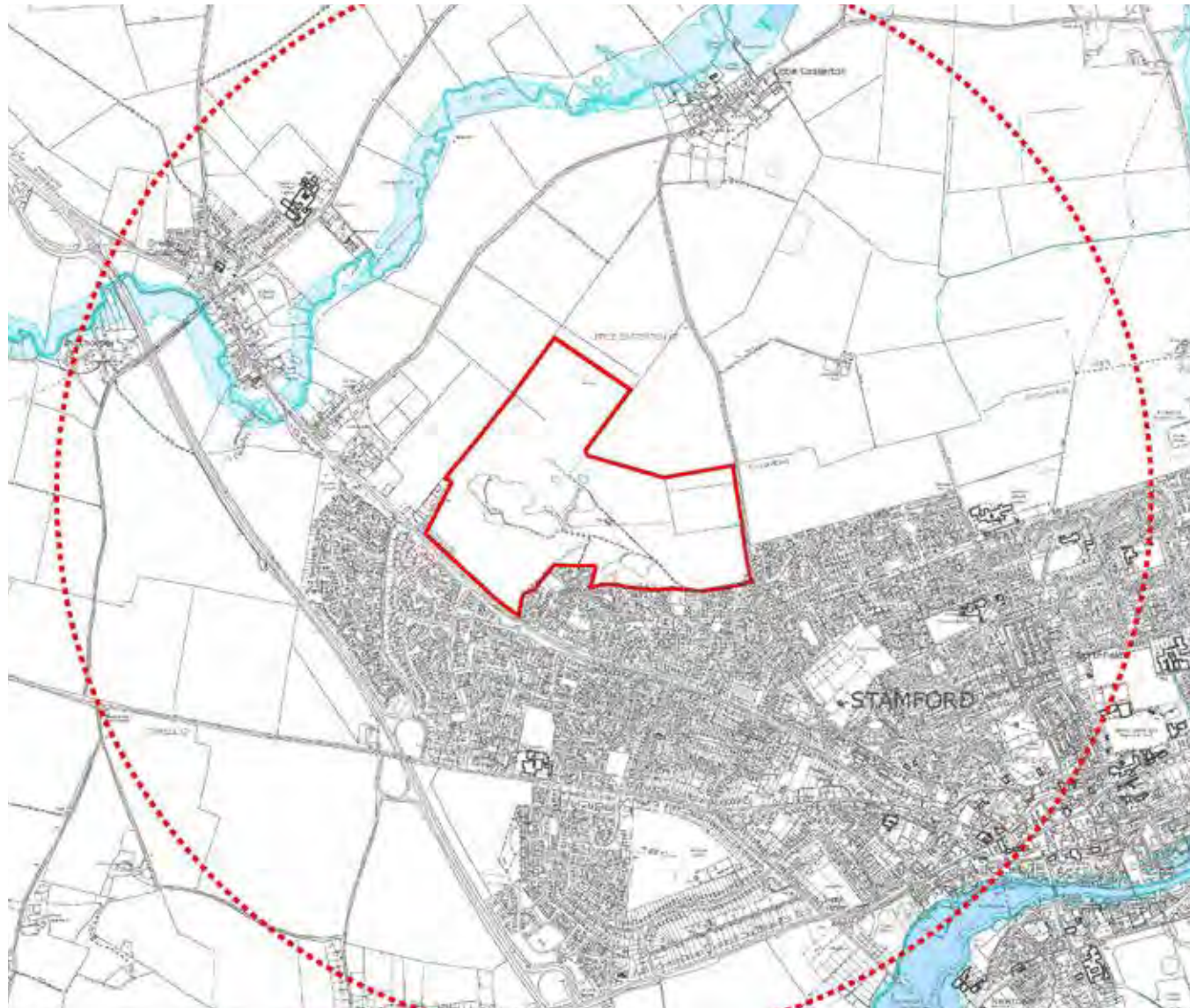
Within the western section of the site, there is a localised high point associated with the woodland at between 70-80m Above Ordinance Datum (AOD), with a gentle slope down towards the eastern edge of the site at approximately 20-30 AOD.

The surrounding landform and the higher ground to the north act to create a sense of enclosure for the site in most directions. The undulating nature of these surroundings also assists in defining the visual character for the site and a general sense of enclosure over most of its extent.



Figure 9; Topography Map

2.5 FLOOD RISK



The development site is located within Flood Zone 1 (less than 0.1% chance of flooding in any year) and is therefore at a low risk of flooding.

Monarch Park lies outside the Rutland Water inundation area. The majority of the site is underlain with limestone therefore existing ground conditions suggest that the site may support infiltration methods of surface water disposal and rainwater runoff in certain areas.

There are, however, areas where surface water runoff is shown to collect. These areas will need to be managed as part of the development of the site.

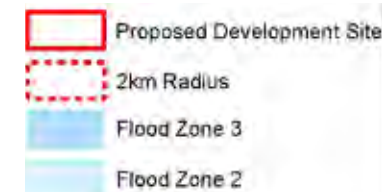
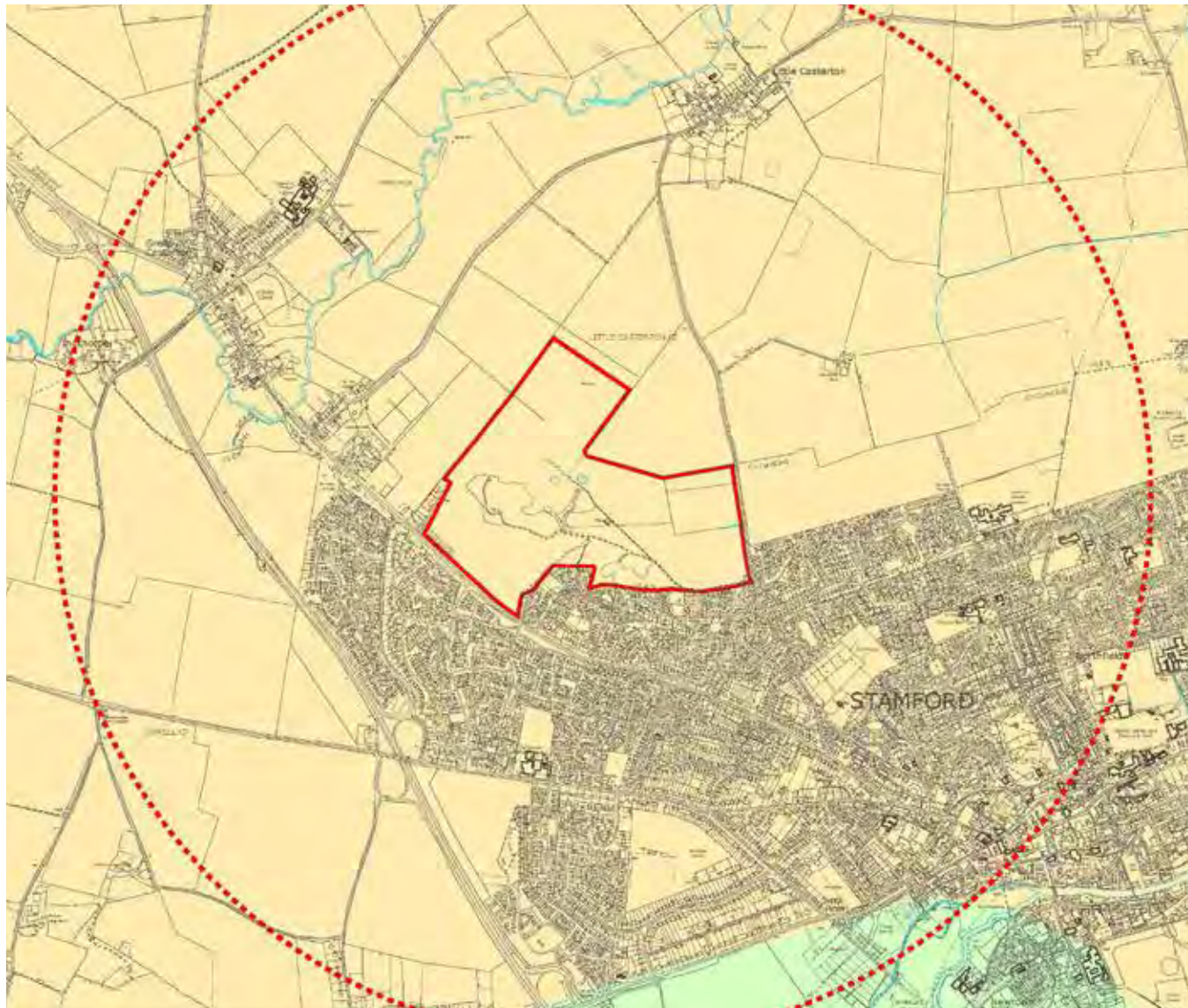


Figure 10; Designations



The site is located within National Character Area (NCA) profile: 75. Kesteven Uplands.

This NCA is described as... *‘a gently rolling, mixed farming landscape dissected by the rivers Witham and the East and West Glen’*. Woodland is predominant in the area...*‘much scattered woodland survives throughout the area with some important semi-natural and ancient woodlands’*.

There are a number of heritage features within the NCA from prehistoric settlement sites, the Roman route known as Ermine Street – which continues on to Lincoln – to medieval deserted settlements, monastic sites and very fine stone-built houses.

Key landscape characteristics applicable to the site context include:

- *‘Significant areas of woodland including semi-natural and ancient woodland, commercial woodlands and parkland landscapes which, in combination with the topography, frame and contain views’*.



Figure 11; National Landscape Character Designations

- *‘Nucleated settlement pattern comprising small traditional villages with few isolated farmsteads or houses. Villages are evenly distributed throughout the area with the exception of the line of settlements along the edge of the Fens to the east and larger villages towards Stamford’.*
- *‘Picturesque villages and towns with buildings constructed in the local honey coloured limestone, with roofs of the local yellowish Collyweston slate in the south and red pantiles in the north. Also present is a concentration of historic country houses with their associated parklands’.*

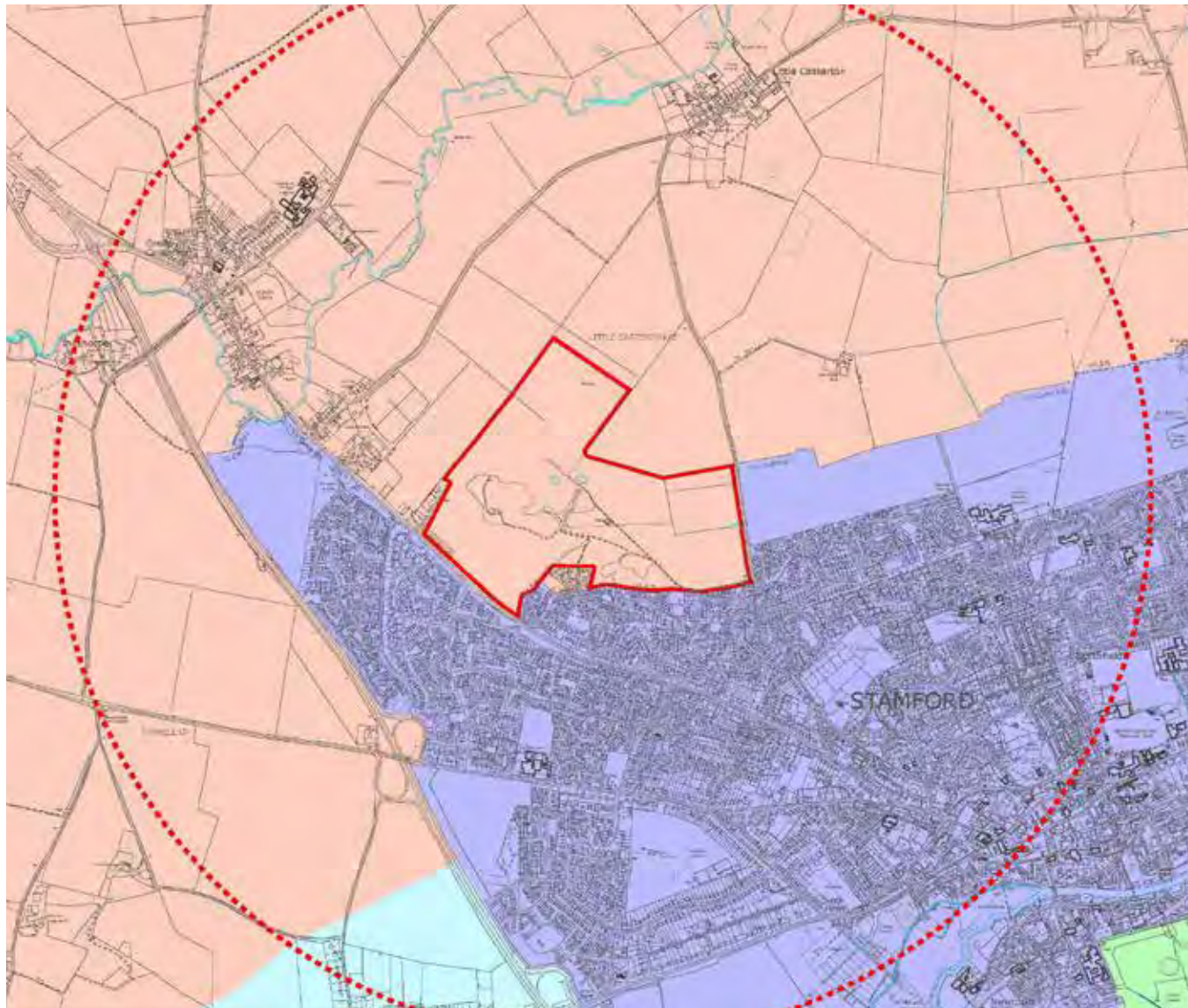
- *‘An archaeologically rich area containing ancient trackways, Roman settlements, deserted medieval villages and Scheduled Monuments such as Car Dyke, which runs along the western edge of the Fens. Recreation includes restored sand and gravel quarries and long-distance routes and trackways’.*

The NCA profile highlights a number of Statements of Environmental Opportunities (SEO) to guide development in this area. SEOs relevant to the site are:

- *SEO 2: Protect and significantly increase the extent, quality and connectivity of the unimproved and limestone grasslands throughout the NCA, to enhance biodiversity, ecological networks, water availability and quality, climate regulation and sense of place.*
- *SEO 3: Manage and expand the native woodlands throughout the Kesteven Uplands to reinforce the area’s wooded character, benefit biodiversity, increase the potential for biomass, access and recreation, and help to regulate climate change and water quality.*



Figure 12; View looking north-east



The Rutland Landscape Character Assessment undertaken by David Tyldesley and Associates in 2003 identifies that the site lies entirely within Rutland Plateau LCA whilst sharing a boundary with Lincolnshire Rutland Limestone. Both character areas are considered.

RUTLAND PLATEAU

The Character Area is broadly described as... *'generally higher land which occupies the north-east part of the County'*. Rutland Plateau Character Area is divided into sub areas, the area relevant to the site is Sub Area Gwash Valley and the key characteristics appropriate to the site include:

- *'Significant areas of woodland including semi-natural and ancient woodland, commercial woodlands and parkland landscapes which, in combination with the topography, frame and contain views'*.



Figure 13; Local Landscape Character Designations

- *‘The limestone geology strongly influences the landscape character, through its distinctive landforms (the plateau, scarp and dip slopes, shallow but quite narrow and steep-sided stream valleys), characteristic building materials, typical limestone ecology of semi-natural, species-rich calcareous grasslands and verges and the frequent occurrence of limestone dust on fields, verges and roads’.*
- *‘The plateau landscape is dissected north to south-east by the A1 trunk road, which through Rutland, follows the line of the original Roman ‘Ermine Street’. This intrusion on the character of the area varies in significance and intensity along the road, with some localities markedly affected by the road infrastructure itself and the noise and movement of traffic’.*
- *‘Whilst there are significant variations in the local character of the plateau landscape character type, it is generally distinguishable by its predominantly arable farming land use. Within the broad, geometric network of large, regular fields, enclosed by thorn hedges, is a well-treed and wooded landscape, interspersed with pasture, particularly close to the plateau settlements and within the river valleys of the Gwash and North Brook. The tree cover frequently restricts and encloses vistas out from, and into, the plateau’.*
- *‘Over many parts of the Rutland Plateau the intensification of arable farming has led to the loss or decline of drystone walls and hedgerows emphasising the open, windswept, exposed nature of the elevated plateau’.*

LINCOLNSHIRE AND RUTLAND LIMESTONE

The Lincolnshire and Rutland Limestone Natural Area covers the Kesteven Uplands landscape character area and contains large amounts of woodland, particularly at the boulder clay on the Kesteven Plateau. Broadleaved woodland, scrub and wood pasture can all be found.

Small pockets of calcareous grassland are scattered about the Natural Area, mainly within protected sites and roadside verges, and these support a high diversity of wildlife.

Freshwater habitats in the Natural Area include rivers and streams and a few flooded sand and gravel pits. The gravel pits support important populations of breeding birds.

Farming is the principal land use of the Natural Area and the farms have some habitats important for wildlife including unimproved grasslands, hedges, streams, ponds and woodland copses.



Figure 14; View looking north



1892



Figure 15; 1892 Historic Map

Stamford has a rich core, harbouring a large number of listed buildings and an expansive Conservation Area. The site, though, is located on the opposite northern edge of Stamford at a significant distance from these key cultural heritage sites.

In 1967, Stamford was the first town in England to have its centre protected by a Conservation Area designation. It remains one of the best preserved historic town centres in the country. It has a well-defined mixture of limestone Georgian buildings, as well as a number of interspersed medieval buildings. The town is also known for its towers and spires, with a number of churches forming distinctive focal features.

1905



Figure 16; 1905 Historic Map

The historical site mapping above identifies Monarch Park and the limestone quarry to be present on site from before 1892.

There is a block of woodland located centrally within the site which appears to span all of the historical maps shown with the remainder of the site divided by a number of field boundaries.

To the south of the site a Rifle Range is located adjacent to a quarry site. A Brick Works is also shown to be located to the south east of the site. To the south, there is a site area identified as Smallpox Huts, which is also shown on the 1905 mapping as a Hospital.

1932



Figure 17; 1932 Historic Map

All development located around the boundary of the site can be seen as mostly associated with the adjacent quarry sites with a small number of cottages shown which would have housed the local workforce.

Ermine Street is a major Roman Road which ran from London to Lincoln and York. This road runs along the south eastern boundary of the site.

The village of Great Casterton is located approximately 1.2km to the north west of the site and contains 14 listed buildings, including the Grade 1 listed St Peter and St Paul's Church, and a Conservation Area. There is also a SAM to the north east of Great Casterton which comprises the remains of a Roman town.

2020



Figure 18; Current OS Map



Figure 19; Stamford Town Centre



There are no Listed Buildings or SAMs within or adjacent to the site itself. Views from within the closest Conservation Areas and from the SAM would be limited due to the distances involved and the intervening landscape.

Today, the site is surrounded to the south and east by development. The immediately adjacent neighbourhoods are predominantly residential in character.

During the course of the 20th Century, Stamford has seen substantial growth, with a large part of that to the north of the Town Centre. Therefore the site was identified as being suitable for further housing development, alongside expansion of the northern boundary of Stamford to accommodate future growth.



Figure 20; Ermine Street Trackway, Stamford

2.9 MORPHOLOGY AND EXISTING BUILT CHARACTER

Stamford's medieval core and conservation area is located towards the River Welland, forming the town centre of Stamford. Development has grown from here in a northerly and north westerly direction.

There was a significant amount of housing development which took place during the mid 20th Century, extended the built form substantially. Large housing developments have also taken place during the later parts of the 20th Century, particularly to the west of Casterton Road.

Recently constructed housing developments include to the south of the Site boundary, off Little Casterton Road.

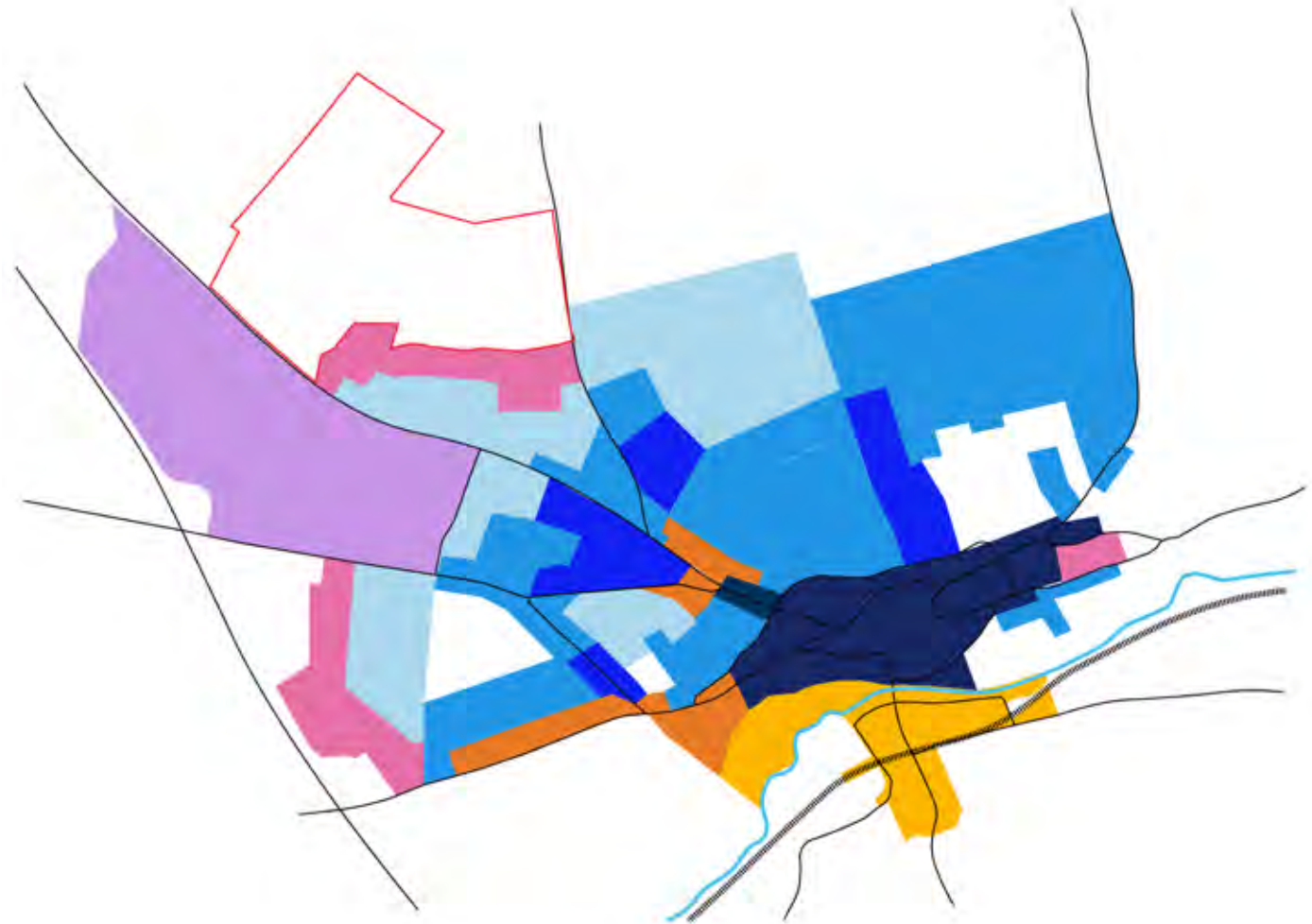


Figure 21; Morphology diagram



Figure 22; Maiden Lane, Stamford



Figure 23; Rutland Terrace constructed in 1829



Figure 24; House on Conduit Road, 1920's



Figure 25; Highlands Way, 1950's



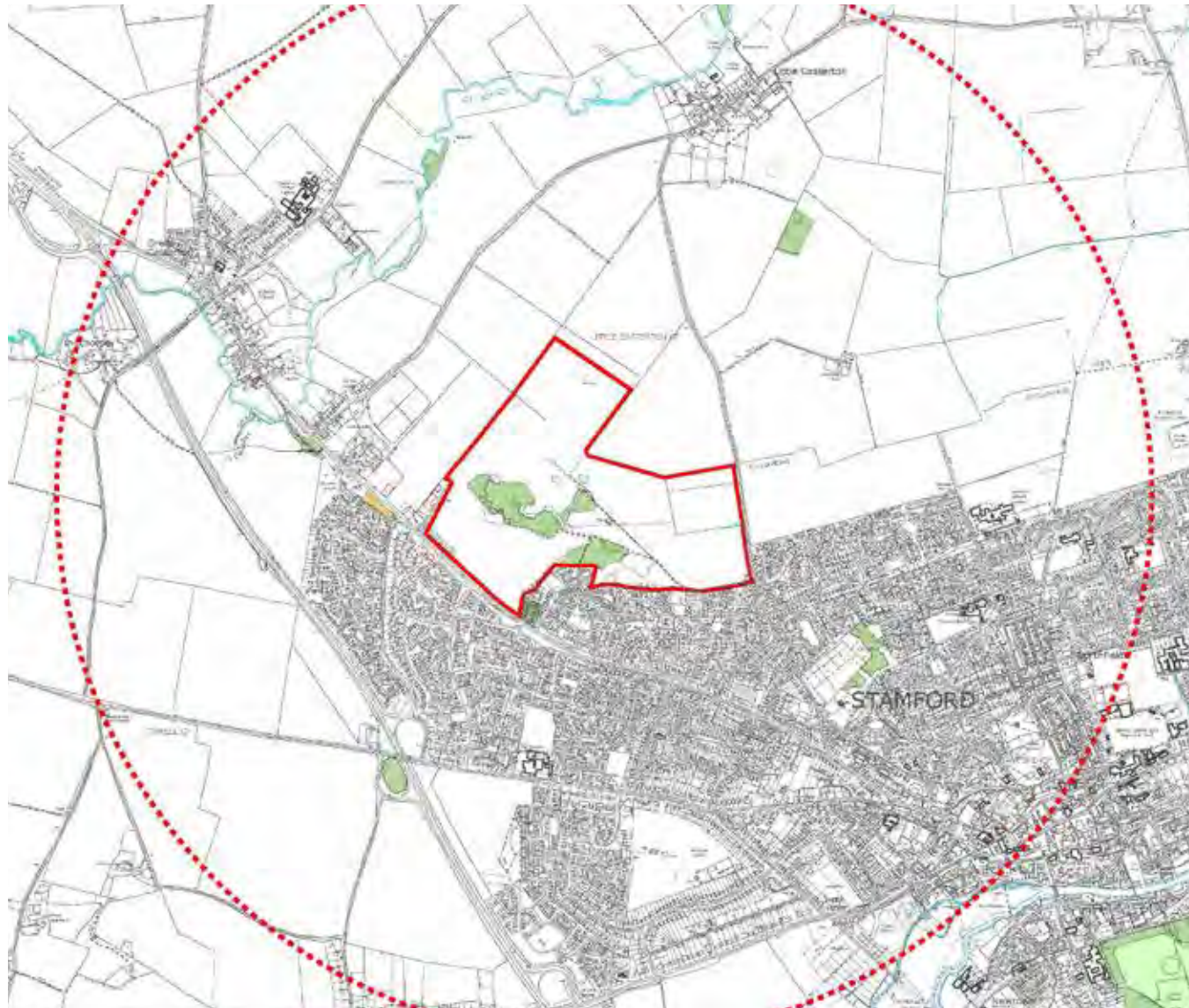
Figure 26; Aberdeen Close, 1970's



Figure 27; Willow Road, 1990's



Figure 28; Langton Walk, 2010's



Significant vegetation across the site includes blocks of woodland which are varied in condition and understorey scrubland forming a central feature within the site.

There is a limited amount of significant vegetation surrounding the site with strips of woodland located along the field boundaries.

A small patch of Lowland calcareous grassland (SSSI) is located in close proximity to the site along the Old Great North Road adjacent to the south west boundary.

There is also a small area of land designated as an 'Important Open Space' which abuts the southern boundary of the site.



Figure 29; Existing vegetation

2.11 ARBORICULTURAL RECOMMENDATIONS

Lockhart Garratt, the project arboriculturalist and ecologist, have made a number of key recommendations regarding the relationship between the site master plan and the areas of retained woodland, which have been summarised below:

- The minimum distance between any proposed development and the existing woodland edge should be a minimum of 10 metres to minimise any potential construction issues and minimise any potential ecological impacts.
- Dwellings that back onto existing woodland areas should be avoided to ensure minimal 'post development pressures' on the existing mature trees by future occupants.
- The proposed development layout should front onto the existing woodland areas to maximise outlook potential and to retain the green setting where possible.
- Potential shading of the proposed dwellings and garden areas will need to be considered as part of the development layout.
- Any loss of existing woodland due to the development proposals will need to be compensated for where possible.
- Proposed development along the existing woodland edge would need to have a 'minimal lighting' strategy approach to ensure the scheme does not interfere with the function of the woodland edge as a commuting and foraging route for local wildlife including bats.
- Sports and recreational space can be accommodated on site and could be enclosed by the existing woodland areas which would allow for screening both visually and acoustically. This could also extend to any flood lighting requirements to support this use. Further consideration would need to be given to any potential impacts on wildlife habitats however.



Figure 30: Existing Woodland Edge

2.12 LANDSCAPE AND VISUAL SUMMARY

A Landscape and Visual Impact Assessment has been undertaken by James Blake Associates as part of the Environmental Impact Assessment for the scheme. The findings of this assessment and the implications on proposals are outlined below:

DEVELOPMENT PARCELS

From a landscape and visual perspective only, the southern part of the site, which benefits from extensive screen planting provided by the existing woodland, is considered to be suitable for development. The eastern field area is also considered to be suitable for development subject to appropriate landscape mitigation measures to provide adequate screening from the country park area.

A tree lined 'green link / boulevard' along the principal access through the development is proposed which will provide skyline trees as well as areas of open green space and amenity space breaking up the built form.

BUILT FORM AND MATERIALS

The proposed built form should reflect the local area with the use of vernacular style materials encouraged wherever possible. The proposed hard and soft landscaping materials palette should complement the proposed development and enhance the character of the site.

The use of dark/earthy tones will help to integrate the proposed development into the wider landscape, particularly any proposed dwellings located within the northern part of the site.

Residential streets and buildings should reflect the existing settlement form. To ensure a sensitive treatment of the urban edge, variations in built form should be encouraged that will create an attractive, high quality settlement. This could be achieved through variation in building heights, housing typologies and orientation of dwellings, to avoid a monotonous and straight-lined urban edge.

In order to minimise any impacts on the landscape character and improve the existing setting, the edges of proposed built development should not extend up to existing field boundaries. An area of linear green space (most likely associated with access lanes to the frontages of properties) should be retained providing a break between the two. This would allow for planting along field boundaries to be strengthened, with additional tree and hedgerow planting used to soften views of the settlement edge.

This approach is supported regarding the retention of the existing field patterns within the proposed development, preserving the existing trees and hedgerows as part of the Green Infrastructure network. Sufficient space should be provided for additional tree and hedgerow planting to strengthen these features and to help screen views of the proposed built development.



Figure 31; View 'O,' provided by James Blake Associates



Figure 32: View 'D,' provided by James Blake Associates

The existing boundary to the small industrial estate to the west is very poor, and could be strengthened considerably through the implementation of a new planting belt and area of public open space alongside rear gardens with policy compliant back to back distances.

The existing boundary treatments of neighbouring dwellings, including close boarded fencing, to the south and southwest of the site are prominent and visually detract from the site's character. There is an opportunity to improve this boundary through additional planting and public open space.

LANDSCAPE CHARACTER

The Site lies within the Kesteven Uplands Landscape Character Area, key characteristics of this area include:

- *'A medium scale, undulating, mixed farming*

landscape dissected by rivers Witham and East and West Glen;

- *Enclosure is generally by hedgerows and more locally by stone walls to the south;*
- *Significant areas of woodland, including semi-natural and ancient woodland alongside a high concentration of historic houses and associated woodlands; and*
- *Generally dispersed but nucleated settlement pattern, with picturesque villages constructed in local limestone'.*

Management objectives for the Kesteven Uplands landscape character area include:

- *'Protect and improve field boundary condition;*
- *Protect existing hedgerow trees;*
- *Plant new hedgerow trees;*
- *Maintain important grassland areas;*
- *Protect important and distinctive woodland cover;*
- *Protect historic parkland;*

- *Protect field trees, particularly in parkland and in large arable fields;*
- *Maintain traditional village forms;*
- *Use of limestone for new construction in the villages and countryside;*
- *Use of new planting to minimise the visual impact of major roads and industrial buildings;*
- *Pay special attention to sensitive spaces around the edge of historic towns such as Stamford and the villages; and*
- *Maintain open areas that extend into the towns and villages'.*

The key characteristics and management objectives identified within the Kesteven Uplands Landscape Character Area will be incorporated into the master planning proposals where possible.





3.0

VISION AND OBJECTIVES

This section explains the key design drivers for the master plan.

3.1 DEVELOPMENT OBJECTIVES

The site is part of the Stamford North Sustainable Urban Extension (SUE), supported by an overarching draft Development Brief which sets out the strategic principles for the delivery of the urban extension.

'This Development Brief (allows)... the landowners and the developers involved to deliver an exceptional, modern and well-connected place in which to live, to work and to relax which is in tune too with the vision of the emerging Neighbourhood Plan.'

The SUE has three overarching aims:

- To connect with its surroundings;
- Create a community;

- Have an emphasis on design and area identity. The principles which underpin these aims and form the vision for the SUE include:
 - To deliver a new place with its own *genius loci*, providing for the needs of its new and existing adjacent residents with well-integrated links into the existing fabric of Stamford.
 - A series of vibrant and easily accessible nodes embracing commercial, education and community facilities.
 - An urban extension which references the local building character, scale and materials of Stamford, which is at the forefront of technical and environmental standards, which promotes the

- adoption of a reduced carbon lifestyle.
- Permeable and connected streets with carefully integrated cycle and pedestrian networks.
- Respecting the natural features of the site and its context, with a new urban edge developed through the lens of the site's strong landscape framework. This landscape and ecology network will become the uniting feature of the SUE, combining a networked play, ecological and sustainable transport network.
- The master plan for the SUE is divided into four distinct character areas (one of which is the Site), with their character determined by their unique character and context.



CONNECT

COMMUNITY

IDENTITY

CONNECT



To deliver a new place with its own genius loci, providing for the needs of its new and existing residents with well-integrated links into the existing fabric of Stamford.

COMMUNITY



Creating a healthy, safe and social community offering a diverse range of housing and complementary facilities.

IDENTITY



Respecting the natural features of the site and its surrounding context, providing a soft urban edge developed through the lens of the site's strong landscape framework.

3.2 OPPORTUNITIES AND CONSTRAINTS

Through a process of baseline investigation, site visits and engagement with stakeholders, a number of Opportunities and Constraints have been identified which provide a framework within which the proposed development will be brought forward. These include:

LAND USE

- A former quarry, the site is currently without a defined use. A telecommunications tower is located at the centre of the site, which is visually prominent.
- Existing pedestrian access to the site is via the eastern corner off the Old Great North Road and Little Casterton Road. This allows access to the site which is currently well used by pedestrians for its recreational value. This recreational value stems from Permissive Access Rights which were on the site until October 2018, but have remained in informal use. There is opportunity to improve pedestrian access and use of the site in shaping the design of the public open space.

VEGETATION

- The quality of the vegetation across the site varies, due to its former use as a quarry. This ranges from mature woodland areas to scrub and grassland.
- A Habitat Management Scheme was developed on the site in conjunction with English Nature. Formal management of this ceased in 2012.



Site Boundary



Green Space



Existing Vegetation



Existing Roads



Public Right of Way



National Cycle Route



National Byway



Bus Stop



Existing Pedestrian Access Point



Existing Vehicular Access Point



Desire Lines



Pedestrian Track



Vehicular Track



Surface Sewer



Existing Pond



Listed Building



Scheduled Monument



Telecommunications Tower



Candidate Local Wildlife Site



Former Habitat Management Scheme Area



Important Open Space



SSSI



Open Views



Employment Area



Local Shops and Services



Schools



Contours



Fall Direction

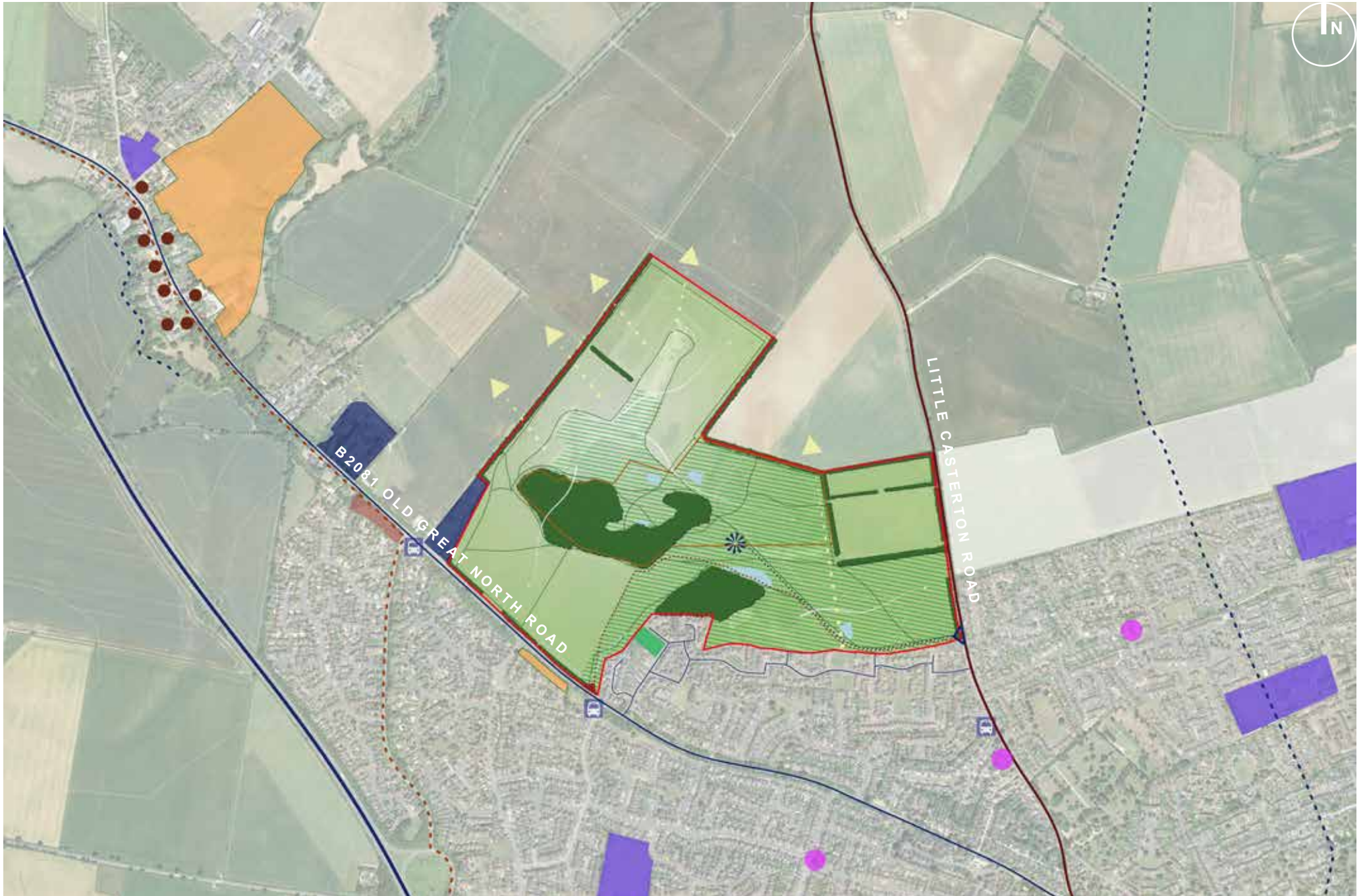


Figure 33; Opportunities and Constraints Diagram

- In 2012, a part of the site was put forward as a Candidate Wildlife Site designation by Rutland County Council and the Leicestershire and Rutland Environmental Records Centre (LRERC).

SITE BOUNDARIES

- The southern boundary of the site is shared with modern housing developments. Connections to these existing residential areas should be maximised as an opportunity within the site master plan, where land rights allow.
- The eastern boundary will adjoin the wider cross boundary site allocation eastern portion of the Stamford North SUE.
- The northern boundary of the site is open to the countryside. Visual considerations will be key to ensuring the success of this boundary in providing a softer edge to the urban area of Stamford.
- The western boundary is shared with a petrol station, and a small industrial estate. The treatment of this boundary will be a key consideration of the layout of any site master plan brought forward.

TOPOGRAPHY AND DRAINAGE

- The landform is characterised by the plateau areas to the north and west of Stamford and the lowlands to the east. The site gently falls downwards from the west to the east, however there are variations in levels across the site.
- These variations of landform within the site and the context of the surrounding plateau and valley landscapes, provide an important consideration for the design and layout of the development proposals.

- The site lies in flood zone 1 (1:1000 year risk of flooding) therefore flood risk is considered to be low. There are however areas where surface water runoff is shown to collect. These areas will need to be managed as part of the development proposals for the site.

VIEWS

- Views of the site from the adjoining areas of countryside are restricted to the plateau to the north and the Gwash valley to the east and are generally limited to a number of vantage points in the close proximity to the site, due to the wider topography of the area, adjacent built up areas and mature tree groups and hedgerows.

PLANNING DESIGNATIONS

- The site is not constrained by any specific designations however there are a number of environmental and historical designations within close proximity of the site which need to be considered as part of any master plan proposals.
- There are no national ecological designations on or near the site that would restrict development. SSSIs are located a sufficient distance away from the site that they would not be affected by the development of the site. The site is however of high ecological value and has subsequently been in part designated as a Candidate Local Wildlife Site (CLWS) which needs to be considered as part of any layout proposals.
- There are no Listed Buildings or SAMs within or adjacent to the site. Views from within the closest conservation areas and from the SAM would

be limited due to the distances involved and the intervening landscape.

PUBLIC TRANSPORT

- Existing bus routes and stops are located on Old Great North Road and Little Casterton Road along the eastern and western boundaries of the site.
- Given the scale of the cross boundary site allocation, the proposed new Main Street through this site and the adjoining part of the allocation to the east, provides an opportunity to assess a potential enhancement of the existing public transport route network.

PEDESTRIAN AND CYCLE LINKS

- Existing cycle routes are located along the Old Great North Road (National Cycle Route 63), while Little Casterton Road is a designated National Byway.
- There is a public right of way (PROW) located to the east of the site providing links from Stamford to Little Casterton and Ryhall and are part of a wider PROW network. The site also has a number of pedestrian routes running across it which should be re provided as part of any site proposals.
- The proposed new Main Street running east / west through the site also provides the opportunity to ensure a high quality, safe, direct cycle route across the northern side of Stamford.

SUMMARY OF OPPORTUNITIES

The development site offers the opportunity to provide a vibrant new community through the provision of a comprehensive, well designed, urban extension to Stamford.

The development has the potential to deliver a wide range of house types and mixed tenure homes supported by a new local centre.

The northern part of the site provides an opportunity to improve the existing wildlife and green space which can be positively integrated into the development of the site.

The presence of the candidate local wildlife site, and the natural setting of the site offers significant scope to deliver a new Country Park for the north of Stamford to enjoy. Wildlife conservation and the enhancement of existing and new green spaces, including the woodland and trees across the site form an integral part of the proposals.

The creation of a new Main Street running east / west through the site, which can link into the wider cross boundary part of the site allocation, and associated walking, cycling, off site highway mitigations and public transport provision offers the opportunity to enhance sustainability and ease of movement.

The site is well served by informal footpath and cycle routes which can be retained and enhanced as part of site development, ensuring comprehensive public access across the site.

The site offers scope to provide substantial development to meet the local housing need, whilst creating new and distinct neighbourhoods that are inclusive and enhance the character and setting of Stamford. The development has the opportunity to provide a new soft green edge to the north side of Stamford, replacing the existing harsh urban edge.

To conclude, the proposed development should provide a generous and positive approach to the site, providing green spaces and key routes and maximising the potential for the future use and enjoyment of residents.



Figure 34; Aerial view looking north-west

The site-specific Opportunities and Constraints diagram identifies the key features of the site and begins to look at the opportunities to build upon the existing site character, creating a context-led development.

The existing blocks of woodland are distinctive to the site, providing recreational and habitat opportunities. The sense of enclosure which the woodland brings also provides an opportunity to inform a woodland edge character area within the proposed development.

The relationship between Old Great North Road and the proposals will require consideration. The existing hedgerow and level change will be retained where possible and will inform the character of the gateway to the development. There is an opportunity for the gateway to have a strong visual connectivity to the existing woodland, ensuring the character for the site is established upon entry.

There is the opportunity to establish the country park where the former quarry and existing desire lines have already established a unique character. The relationship between the proposed residential and country park should be cohesive and ensure quality open space is also integrated within residential parcels and interconnected through green links.

Existing boundaries to properties create a constraint which will require consideration within the proposals to ensure this relationship is addressed, including policy compliant back-back distances.

The site has a unique quality which contrasts between enclosure created by the woodland and long views due to the adjacent open countryside and higher ground. There is an opportunity to enhance this quality through the strategic placement of open spaces and developable areas.



Potential Access and Viewshed

Enclosed Woodland Edge

Boundary to Existing Residential Properties

Old Great N Road Sensitivity



Site Boundary



Green Space



Existing Vegetation



Existing Roads



National Cycle Route



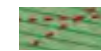
Bus Stop



Existing Pedestrian Access Point



Existing Maintenance Access Point



Desire Lines



Telecommunications Tower and maintenance track



Surface Sewer



Existing Pond



Scheduled Monument



Candidate Local Wildlife Site



Important Open Space



SSSI



Open Views



Employment Area



Slope Direction



Figure 35; Opportunities & Constraints diagram

3.3 CONCEPT DRIVERS

The following are a series of identified concept drivers which underpin the master plan development proposals.

LANDSCAPE



Figure 36; Landscape Concept Driver

- Grow and strengthen the existing landscape character to soften the existing harsh urban edge of the north side of Stamford.
- Increase the opportunities for ecological benefits.
- Improve public access to informal open space.

CONNECTIVITY

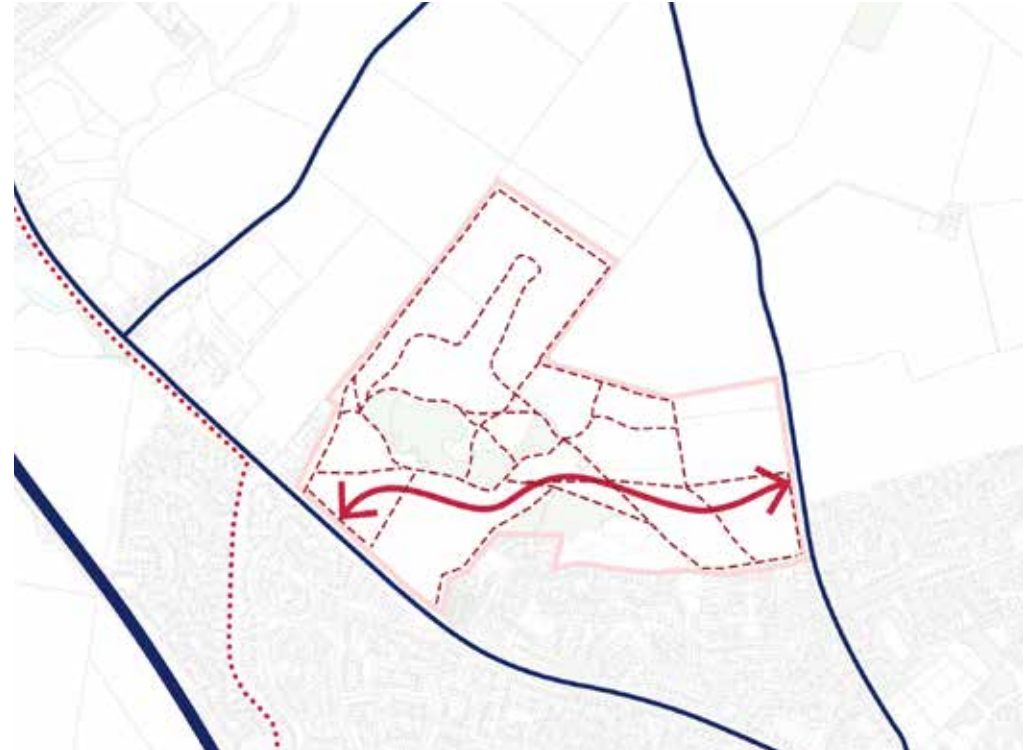


Figure 37; Connectivity Concept Driver

- Create a permeable built form which encourages sustainable modes of transport, through an integrated Green Infrastructure (GI) network.
- Utilise existing desire lines to form a hierarchy of footpaths.
- Provide numerous footpath routes to provide circular walking routes.

LAND FORM & VIEWS

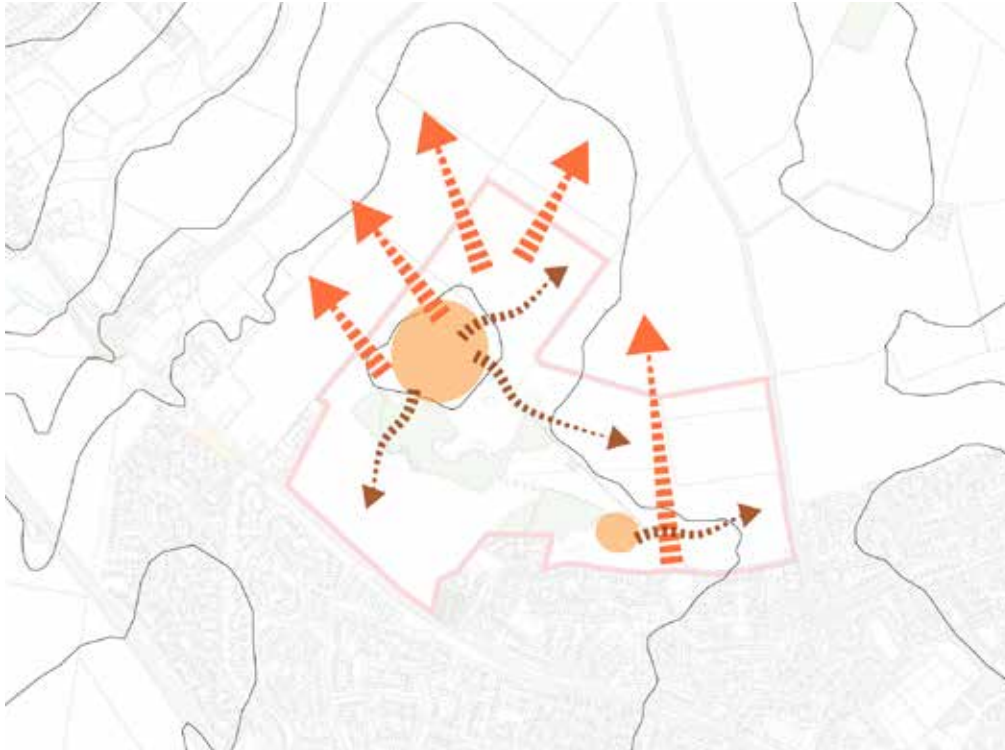


Figure 38; Land Form & Views

- Views of the site are generally limited to a number of key vantage points within close vicinity of the site.
- Views are generally enclosed due to the undulating local topography, adjacent built up areas and mature tree groups and hedgerows.
- High points with longer views to be carefully considered.

COMMUNITY



Figure 39; Community Concept Driver

- To create a neighbourhood which facilitates the creation of a healthy community to grow, taking ownership of it's place and customs.
- Centrally located to ensure easy access for all residents and the wider community.

3.4 PRELIMINARY MASTER PLAN

Following the site analysis work undertaken, a preliminary master plan was prepared by Allison Homes in 2016 as a first response to the site's opportunities and constraints whilst testing the identified concept drivers to ensure the approach taken maximises the site's potential. At that time, the initial master plan contained the following elements:

LAND USE

- Residential development parcels are located across the southern half of the site, retaining the central and north western parts of the site as green space.
- A new local centre is proposed in the centre of the site located within the break between the two existing woodland areas, adjacent to the existing telecommunications mast.
- A number of play areas are located across the site, serving the residential development with sports provision located at the north western part of the site.

ACCESS

- A new spine road is proposed east / west across the site linking the Old Great North Road to Little Casterton Road.
- A number of secondary roads are accessed off the spine road serving the various residential development parcels with a dedicated road serving the local centre.
- A proposed vehicular access link is also shown to provide access to the proposed sports provision.

PEDESTRIAN AND CYCLE LINKS

- Footpath links are provided across the site, including a number of new routes circulating the central and northwestern parts of the site including the existing slope, taking advantage of the proposed green space areas.
- The existing pedestrian link from The Old Great North Road is retained with an additional link provided along the southern boundary further east.

LANDSCAPING

- The existing central woodland areas have been retained and enhanced where necessary.
- New walking routes through the woodland are provided maximising its recreational value.
- Existing field hedgerow boundaries have been retained and integrated into the scheme where possible.
- Boundary trees are also retained and strengthened where appropriate such as the western boundary adjacent to the existing industrial area.
- The proposed central spine road is tree lined, providing a distinctive character whilst providing green separation between development parcels.

DRAINAGE

- Two proposed drainage attenuation ponds are shown in indicative locations to address the drainage requirements of the proposed development on the site.
- The existing ponds have been retained in their current positions and managed accordingly.

Following the preliminary master plan in 2016, it was understood that further study of the site's surrounding and historic context was required before progressing the proposals further.

Input from a conservation design perspective was required to address the site's context of both Stamford historic core and the surrounding rural context. Bidwells Urban Design were introduced to the project with the intention of progressing the proposals towards a stronger relationship between the development site and the surrounding context of Stamford and adjacent countryside.



Figure 40; Preliminary Master Plan, July 2016





4.0

WIDER ENGAGEMENT

This section explains the steps taken to engage local people and stakeholders in the development of the proposals.

4.1 STAKEHOLDER ENGAGEMENT

A consultation process has been undertaken by Athene Communication on behalf of the Allison Group. This process was undertaken during Summer 2021, inviting stakeholders, residents and local businesses to share their feedback. This has resulted in a Summary of Community Involvement (SCI), the key points of which have been included below.

A series of dedicated stakeholder workshops have been undertaken, throughout summer 202, summaries of which have been included within the SCI. These were undertaken with Parish and Town Councils, Education and Children's Services portfolio holders at Rutland County Council, the organiser of a specialist petition regarding the site and Welland Rivers Trust.

The wider community consultation comprised of a website, online survey, letters and local advertisement, with a newsletter sent to over 4,000 local homes and businesses. There were 752 responses to the request for feedback, with those responding to the survey noting:

- 21% general supporting the proposal;
- 57% did not support the proposal; and
- 22% undecided.

A significant number of responses acknowledged the existence of a need for new homes in Stamford, however this was generally accompanied by assurances that the affordable homes element of the scheme would be 'truly affordable' for local people.

Generally opposition to the proposal was largely focused on the loss of existing wild areas and impact on existing wildlife, and impact on Stamford's infrastructure (health, education and roads and traffic).

For the project team's dedicated response to the key issues raised, including wildlife impact, impact on infrastructure, affordable housing, cross-boundary implications and background to the allocation, please refer to Table 8.

Please refer to the full Statement of Community Involvement prepared by Athene Communications for further information.



Figure 41: Extract of Monarch Park consultation newsletter



Figure 42; Extract of Monarch Park consultation newsletter



Figure 43; Extract of Monarch Park consultation newsletter



Figure 44; Extract of Monarch Park consultation newsletter





5.0

DEVELOPMENT PRINCIPLES

The Development Principles summarise the key ingredients of the master plan.

5.1 ILLUSTRATIVE MASTER PLAN

The illustrative master plan proposes development with three character areas each defined by their unique qualities. Development parcels are focused to the south east and south west of the site whilst a new local centre is centrally located to provide a hub for the local community. With development focused to the south of the site, a major component of the proposals is the open space provision including protected existing woodland, providing ecological benefits and numerous open space typologies for the local and wider community to enjoy.

CHARACTER AREAS

The developable areas are defined into two residential character areas. These are:

- Stamford Edge which is located to the west of the development site and associated with the Old Great North Road (including hedgerow boundary), existing woodland and industrial units located to the west.
- Urban Transition, to the east of the development site. The character is defined by the proposed transition with the Stamford North SUE development and boundaries shared with modern housing developments and open countryside to the north.

The developable areas provide opportunities to create distinct neighbourhoods with a varied built form including local parks and amenity green space for community use.

LOCAL CENTRE

The Local Centre, which is at the heart of the development has an individual character, and is proposed to be flexible in its use. The strategic location enables easy access for the local and wider community. The centre is characterised by the surrounding woodland and the proposals include sports facilities and a local park, forming a multi-functional hub.

COUNTRY PARK

Located to the north of the Site, the Country Park provides an informal, parkland edge to the proposals. There is a strong connection to the adjoining countryside, across which, the existing topography and plateaus enable longer views, providing a distinct sense of place to the park.

The high ecological value of the park is protected and enhanced through careful consideration of existing and proposed habitat typologies. Existing desire lines are utilised to create an extensive circulation network which is well established and enables circular walking routes.

CONNECTIVITY

The proposals include numerous pedestrian and cycle connections across the site following both the proposed road typologies and within the open space provision. These are proposed to provide sustainable connections between the local centre, country park and surrounding settlements where wider sustainable connections are located. Segregated cycle and footpaths are proposed to enable safe modes of travel.

PUBLIC TRANSPORT

A new bus route which is proposed to align through the central road as part of the wider Stamford North SUE includes bus stops at strategic points across the site. This route, along with the numerous footpath and cycle paths enable sustainable modes of travel into Stamford and further afield.

LEGEND












	Site boundary (65.40 ha)
	Local Centre
	Urban Transition Character Area
	Stamford Edge Character Area
	Existing Telephone Mast
	NEAP
	LEAP
	Pedestrian Route
	Sports Provision
	SuDS Attenuation
	Existing Woodland



Figure 45; Illustrative masterplan concept

5.2 DEVELOPMENT AREA BREAKDOWN

The proposals respond to the surrounding countryside edge context through the introduction of extensive open space typologies which propose a soft, ecologically-sensitive edge to the master plan.

The emphasis on open space enables the developable areas to meaningfully integrate with the existing and proposed landscape features, ensuring green infrastructure forms the basis of the proposals. Development is located adjacent to the existing built form, responding to the existing settlement pattern and densities within each neighbourhood.

The resulting illustrative master plan ensures the developable areas work within the open space context and create a new softer edge to Stamford.



Figure 46; Example of SuDS as a Feature within Open Space

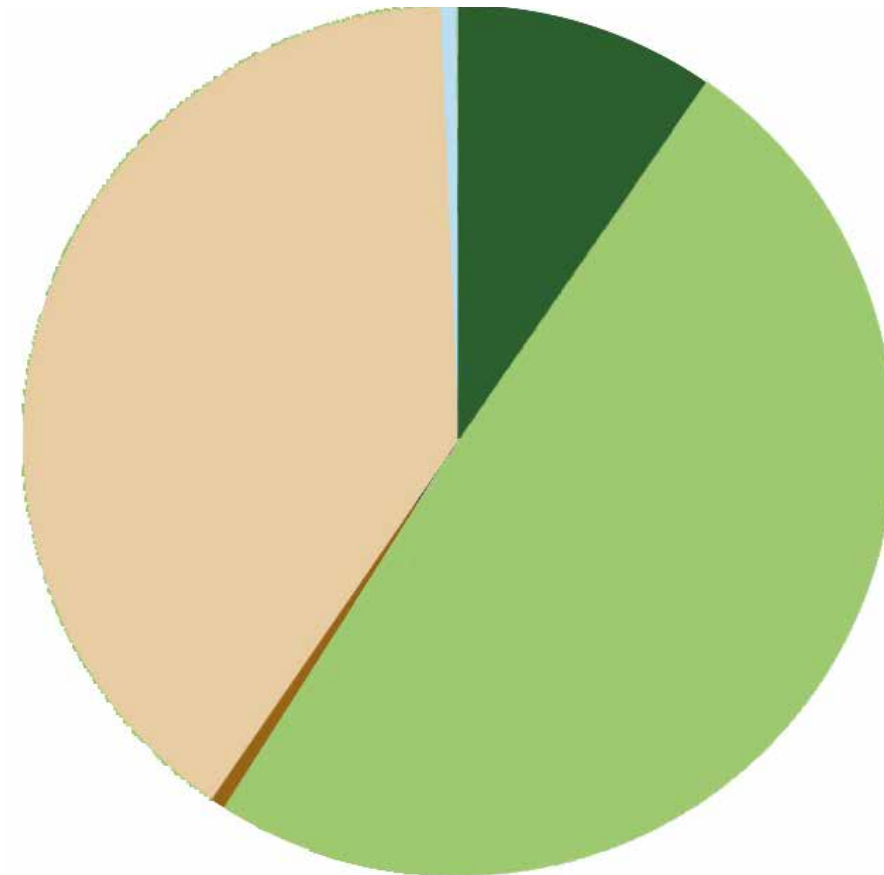
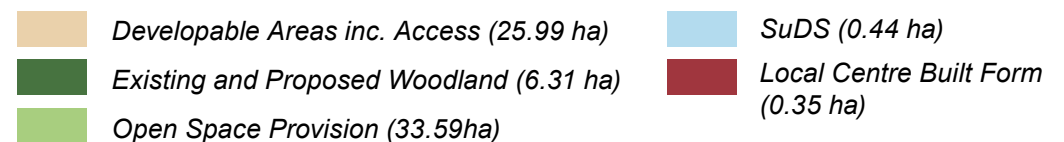


Figure 47; Open Space Land Use Breakdown Chart



Total Site Area	65.40 hectares			
DEVELOPMENT TYPE	Total Area (Hectares)	Total Area (SQM)	Area % of Total Site	No. of Dwellings @ 28 gross dph
Gross Developable Area	24.61	246,100	37.4%	650 dwellings (30% affordable)
Local Centre	0.35	35,000	0.5%	-
SuDS	0.44	4,400	0.7%	-
Open Space Provision	33.69	323,100	51.4%	-
Woodland	6.31	63,100	10%	-
Indicative Development Mix (Identified in SHMA 2014)	Indicative Percentage Mix (%)	No. of Units	Typical GFA (SQM)	No. of Parking Spaces (policy compliant)
1 Bed	0-5%	0-32	61	1
2 Bed	25-30%	162-195	65	1
3 Bed	35-50%	228-325	95	2
4+ Bed	25-40%	162-260	145	2
Total	100%	650	-	-

The above table presents the development area schedule and an indicative housing mix for the proposed development.



Figure 48; Example of Country Park



Figure 49; Accessible Woodland

5.3 SITE CHARACTER AREAS

The Monarch Park site is part of the wider Stamford North Strategic Urban Extension (SUE), for which a thorough development brief has been developed to guide the design direction of the development as a whole.

Stamford North SUE Development Brief identifies the Monarch Park parcel as the entirety of the 'Parkland Neighbourhood (Quarry Farm)'. The key components of this character area include:

- A strong urban edge of contemporary 2.5-3 storey housing along Old Great North Road – the Gateway element;
- A tree lined central avenue forming the first part of the Main Street;
- A series of linked housing areas each with front of plot or side access car parking and garages;
- Cycle and pedestrian links either adjacent to the Main Street or separated off to ensure safe access routes;
- Informal and formal play areas centred on the main north-south green links leading back into the existing residential areas to the south;
- A drainage design well integrated into the design of the housing and infrastructure areas forming part of the formal open space/biodiversity areas; and
- A 30ha Country Park and adjacent Local Centre hosting a range of activity for both commercial and community basis.

The Parkland Neighbourhood seeks to use the extensive woodlands and wider landscape positively, to frame the development and to build on this existing

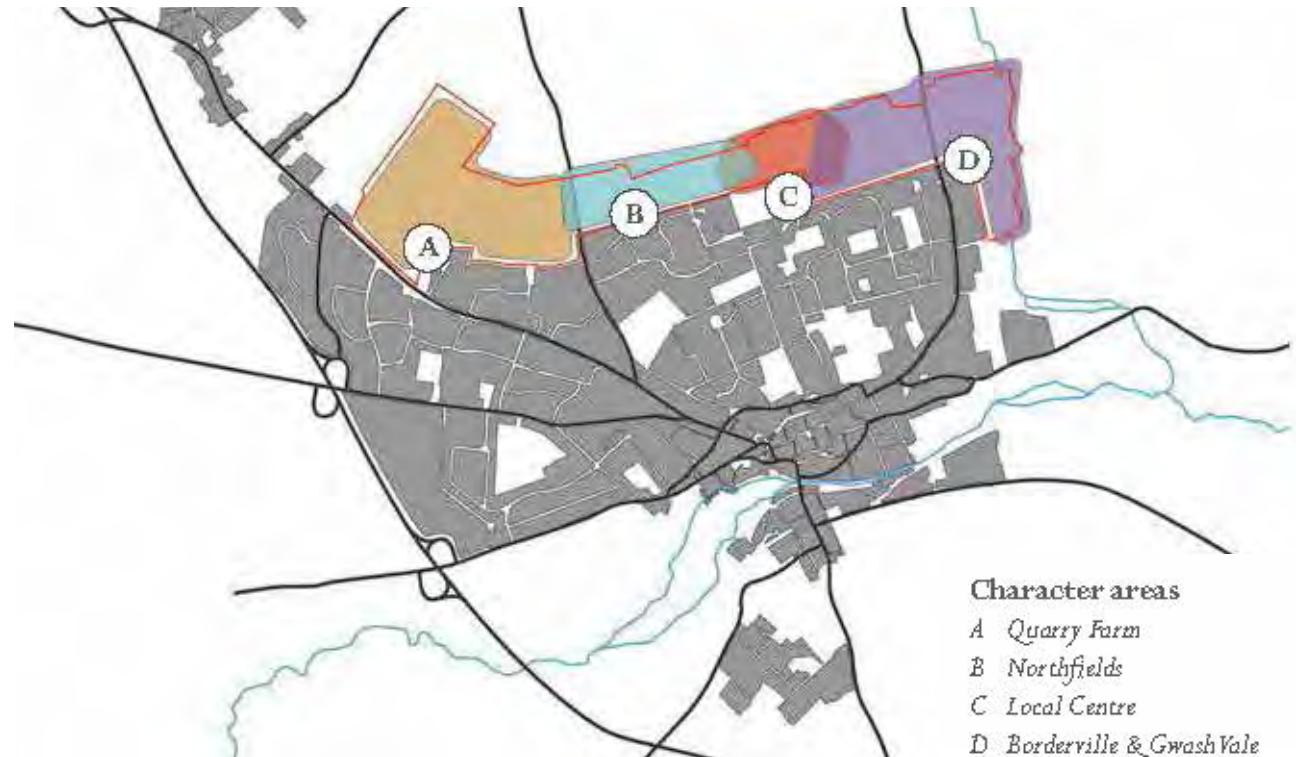


Figure 50; Stamford North SUE character Areas, extracted from the Development Brief.

character with new areas of semi mature tree planting to reinforce this sense of place.

This approach will ensure that new and existing residents alike have good access to a network of parks, open spaces and woodland on their doorstep, creating direct and usable links between the natural and built elements of Stamford and its landscape borders.

STAMFORD NORTH STREETSCENE AND MATERIAL PALETTE

The Development Brief identified a number of palette and streetscene key elements which should come to define this area:

- Limestone entrance walls and pillars;
- A strong tree lined and path link vista of the woodland from Old Great North Road;
- Metal railings separating green space from hard infrastructure;
- Distinctive street scenes achieved through the coherent placement and grouping of buildings;
- Native tree species that reflect the mature woodland included in the Country Park;
- Soft and hard landscaping materials that reflect the local character in a contemporary manner;
- Shared surfaces at the Local Centre on the Main Street to ensure pedestrians and cyclists have priority at this location;
- A strong coherent architectural theme supported by a main street with generous green verges populated with semi-mature trees from the outset;
- Common building styles in terms of walls and boundary treatment, roof and chimney design, and window details; and
- A distinct palette of street furniture and signage, coordinated across the whole of the site to deliver coherence across character areas.

Refer to sections 5.4 to 5.7 for description of individual characters.



Figure 51; Character Area Key Plan

5.4 DESIGN PRINCIPLES: PROPORTION, CHARACTER AND MATERIALITY

A study of the existing local character context has been undertaken to understand the key design principles which inform each identified character. This understanding can then inform how Stamford North can respond to the local

context whilst developing it's own distinct character. The following characters have been identified; Stamford Core, Stamford Modern and Stamford Rural Context.

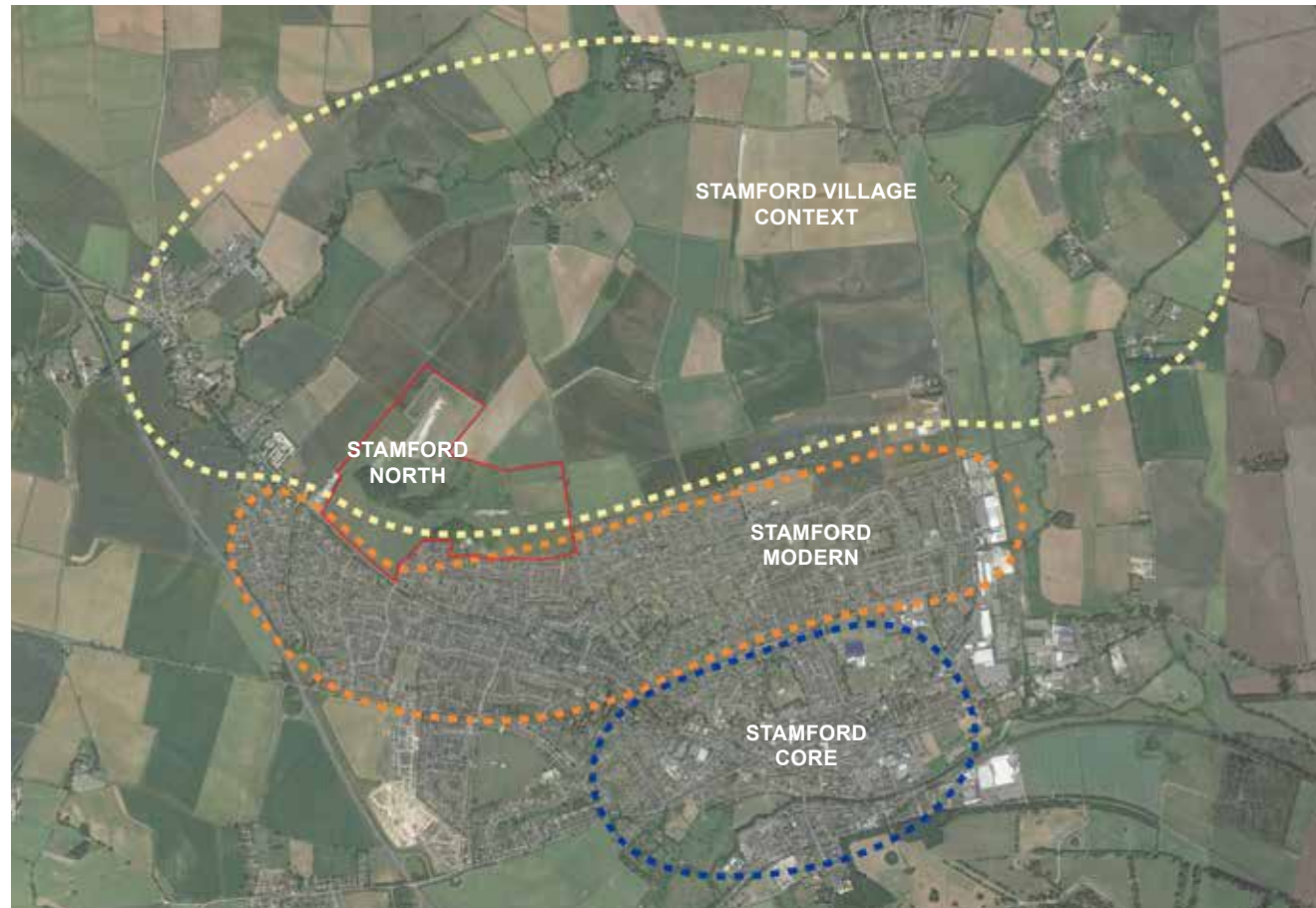


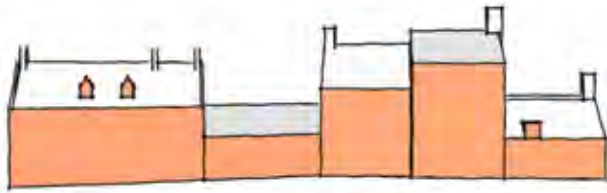
Figure 52; Local Context Character Areas

STAMFORD CORE

The historic centre of Stamford has a strong character which is rooted in local stone and a Georgian vernacular. The design principles which characterise Stamford Core include:

- Consistent use of limestone, ashlar or coursed;
- Neo-classical character;
- Formal architectural detailing; sash windows/panelled doors;
- Strong and tall sense of proportion;
- Enclosed streets and edge-of-pavement frontages;
- 2-4 storey height;
- Terraces and adjoined buildings;
- Varied roofscape, emphasised by topography; and
- Variations of building scale.

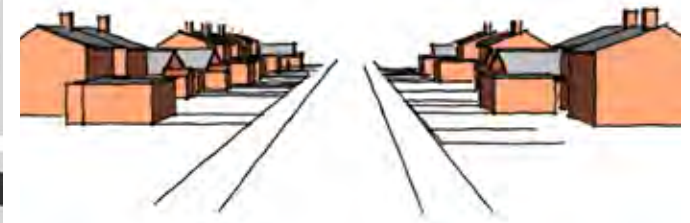
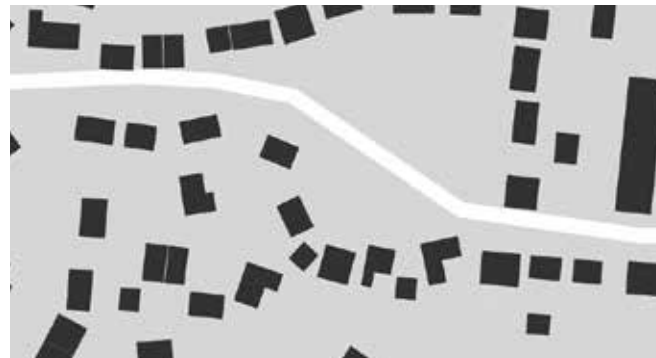
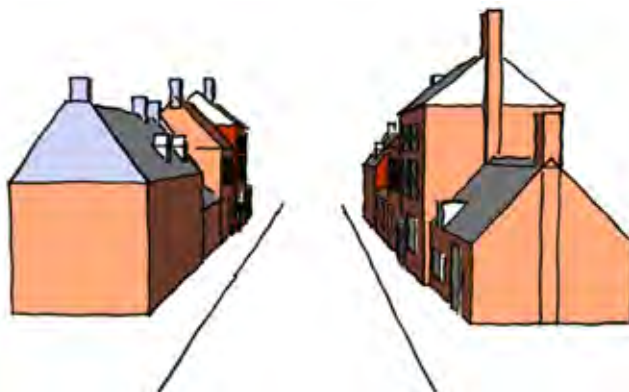




STAMFORD MODERN

In close proximity to Stamford North more recent housing developments have been built. These are generally from the 1970's onwards and consist of the following characteristics:

- Larger proportions including detached and semi-detached dwellings;
- Spacious quality to the proportions including wide gaps between dwellings;
- Plots typically consistent with similar garden sizes;
- Wider dwellings creating a square footprint;
- Roof heights typically consistent, with shallow pitches and overhanging edges;
- Large windows stretching across the width of the frontage;
- Large windows stretching across the width of the frontage;
- Separate garages;
- Consistent chimney placements; and
- Entrance often dominant, including porches.



STAMFORD VILLAGE CONTEXT

There is a rural character within the villages which surround Stamford. The built form typically consists of stone built dwellings clustered along the main road. Some of the buildings are former farmsteads, influencing the character of roof heights. The design principles which characterise Stamford Village context include:

- Consistency of materials;
- Vernacular scale;
- Simple forms and detailing; casement windows/ boarded doors;
- High wall:window ratio;
- 2 storeys; and
- Simple proportions.

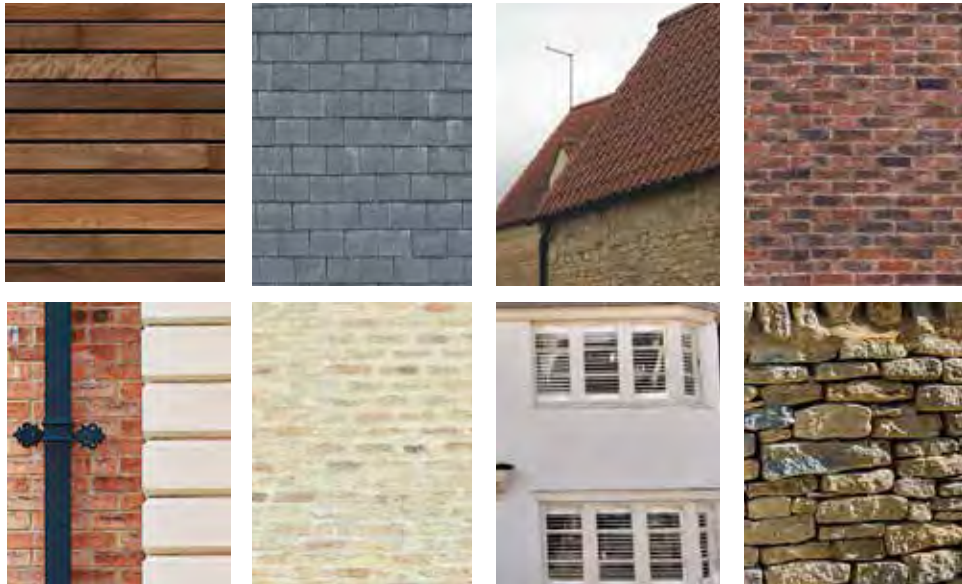


5.5 PROPOSED MATERIALS PALETTE

STAMFORD NORTH MATERIAL PALETTE

The material palette for Stamford North should be informed by the local context and could include:

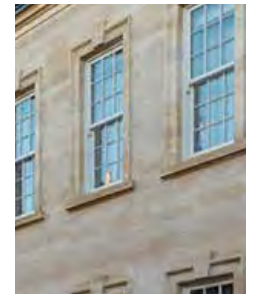
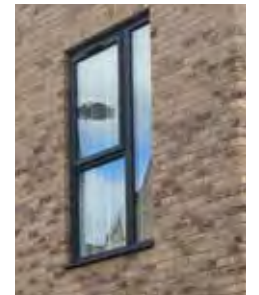
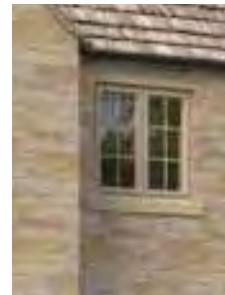
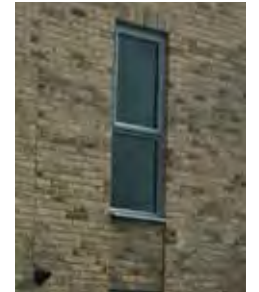
- Yellow brick;
- Red brick;
- Limestone;
- Feature stone boundary walls;
- Timber facade detailing;
- Welsh slate roofs;
- Tiles (including red pan tiles); and
- Cast Iron.



STAMFORD NORTH WINDOWS AND DOORS PALETTE

The window and door details for Stamford North should be informed by the local context and could include both modern and traditional elements including:

- Sash window proportions;
- Metal windows;
- Stone window detailing, and:
- Casement window proportions.



5.6 STAMFORD EDGE

The 'Stamford Edge' character area will carefully integrate the proposed built form of the Strategic Urban Extension into the existing edge of Stamford.



Figure 53; Character Area Key Plan



Figure 54; Character Area Master Plan

CHARACTER AREA RESPONSE	
Character	Stamford Edge has the opportunity to be more contemporary in nature, exploring the materiality of the context within the existing network of green infrastructure which already defines the boundaries of the character area.
Density	Density varies, 30-40 dwellings per hectare.
Plot width	Plot width varies between 6m - 20m.
Private Amenity Space	Private amenity space should be a minimum of 25m ² within the high density building zones, up to a maximum of 100m ² within the lowest density spaces.
Building Rhythm	Building rhythm should be largely regular, with consistent roof pitches creating a bold streetscape in close proximity. Feature buildings may be appropriate on feature views.
Setbacks	Along the primary road front gardens should be included, with a minimum setback of 2m, however this may be greater in locations. Within the medium and high density core, dwellings may directly open onto the surrounding public realm, with provision for some infill planting.
Roofline	Consistently pitched rooflines will create a rhythm to underline the contemporary nature of this area.
Materiality	Buildings should be predominantly brick, with highlighted instances of limestone cladding on the entry to the site, and on the dwellings fronting the main road.
Parking	Parking will be provided on plot or in garages wherever possible, so that there is a direct relationship between the ownership and use of parking space.

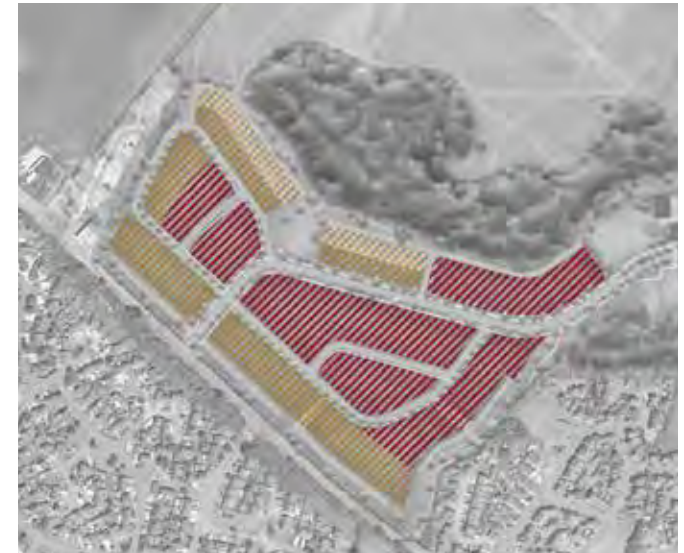










Figure 55; Density Study

LEGEND

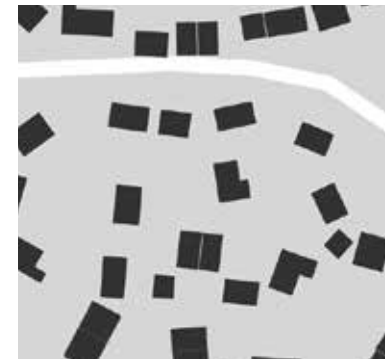
-  High Density
-  Medium Density
-  Low Density

-  Site boundary (65.40 ha)
-  Stamford Edge Character Area
-  LEAP
-  Local Park
-  Informal Open Space
-  Pedestrian Route
-  SuDS Attenuation
-  Existing Woodland

HIGH



MEDIUM



LOW



Figure 56; Example of Housing Density



Figure 57; Example of dwellings fronting shared space



Figure 58; Woodland townhouse precedent



Figure 59; Alignment to create interest in the streetscape



Figure 61; Precedent illustrating how the built form can interact with a woodland.



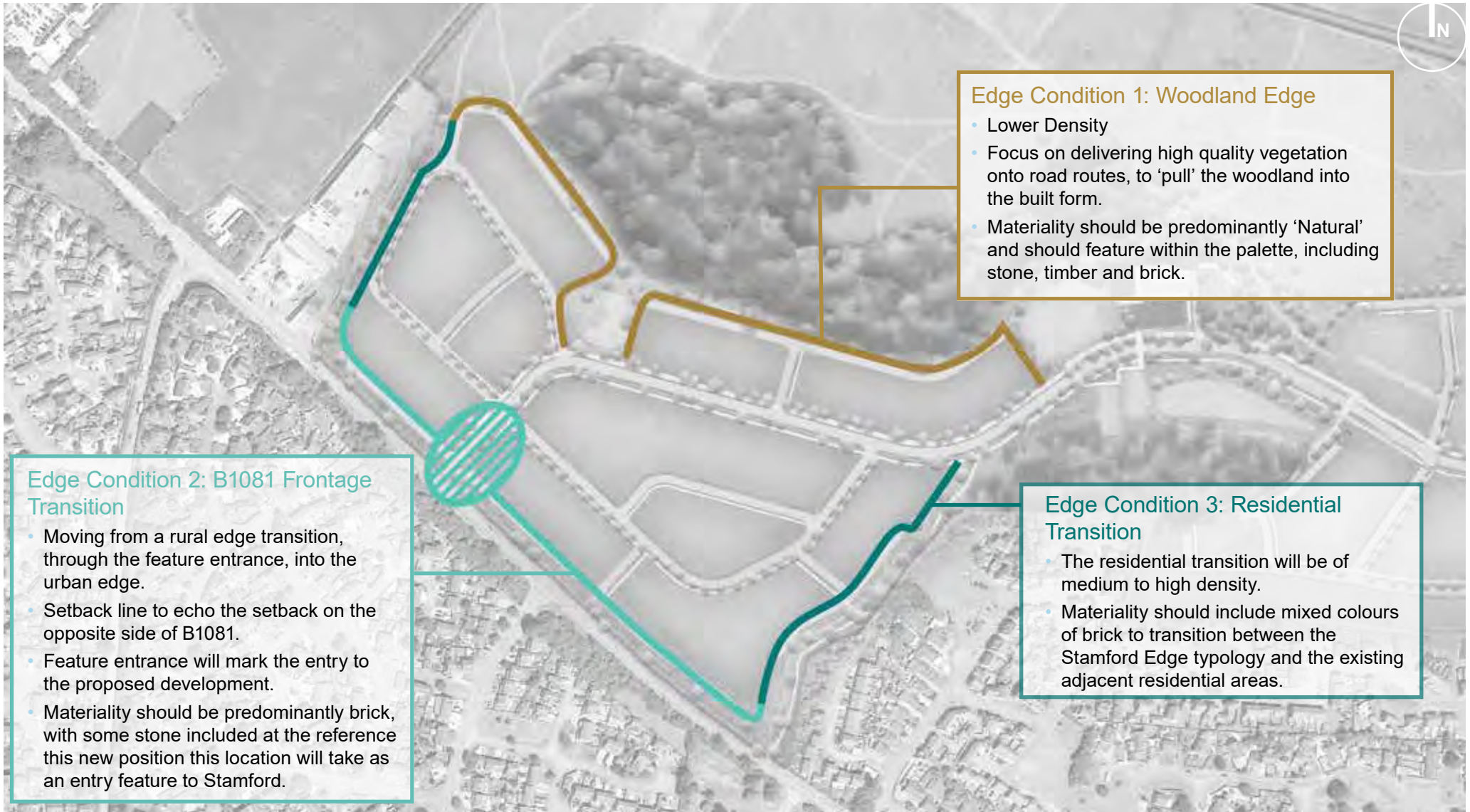
Figure 62; Detached dwelling materiality



Figure 60; Dwellings given interest by the way they are aligned.



Figure 63; Illustrative view of the entrance into the site from Old Great North Road



Edge Condition 1: Woodland Edge

- Lower Density
- Focus on delivering high quality vegetation onto road routes, to 'pull' the woodland into the built form.
- Materiality should be predominantly 'Natural' and should feature within the palette, including stone, timber and brick.

Edge Condition 2: B1081 Frontage Transition

- Moving from a rural edge transition, through the feature entrance, into the urban edge.
- Setback line to echo the setback on the opposite side of B1081.
- Feature entrance will mark the entry to the proposed development.
- Materiality should be predominantly brick, with some stone included at the reference this new position this location will take as an entry feature to Stamford.

Edge Condition 3: Residential Transition

- The residential transition will be of medium to high density.
- Materiality should include mixed colours of brick to transition between the Stamford Edge typology and the existing adjacent residential areas.

Figure 64: Edge Condition Diagram

General Rules:

- Setback to be informed by existing relationship on other side of B1081.
- Existing hedge to be retained
- All properties to face towards B1081, with either shared drive or rear access / mews arrangements for parking.



Figure 65: Existing view along B1081.



Figure 67: Illustrative cross section to Old Great North Road

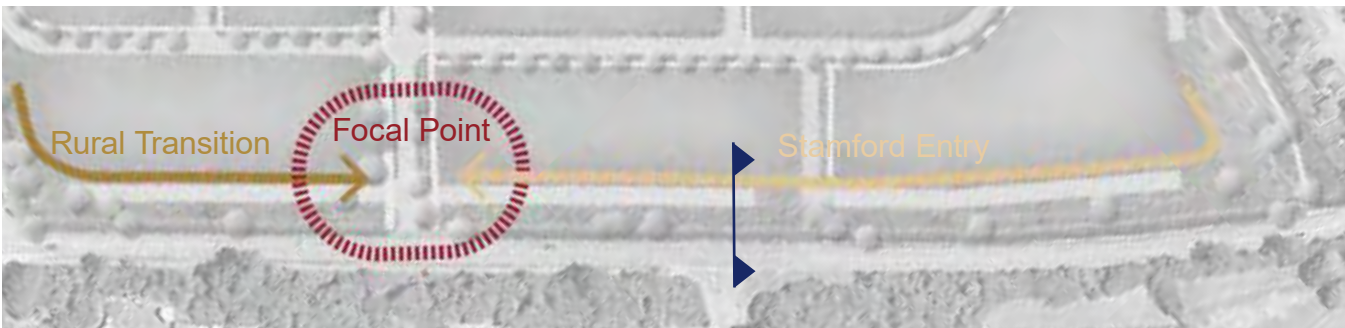


Figure 66: B1081 Frontage Character Areas

Rural Transition

- 1.5-2 storey height
- Broken ridgelines and massing
- Predominantly brick finishes to facades.

Focal Point

- Mix of timber and stone detailing.
- 2-3 storey height
- Predominant stone finishes to outward facing facades
- Built form tight to the edge of developable area, replicating the exit from Great Casterton created by The Crown and opposite building



Figure 68: Existing view along B1081.

Stamford Entry

- 2-2.5 storey height
- Introduction of some continuous ridgelines to foreshadow Casterton Road massing
- Predominantly brick finishes to facades.



Figure 69: Illustrative view of woodland edge



Figure 70: Illustrative view of internal street

5.7 LOCAL CENTRE

The Monarch Park Local Centre or 'Hub' will play an important role in the west of the Stamford North development by acting as a hub for local activity, community interaction and social integration. Its central location on the edge of the proposed County Park green space adjacent to the new link road will see it act as a nucleus for the development bringing existing and new residents together in a unique new setting on the edge of Stamford.



Figure 71; Character Area Key Plan



Figure 72; Character Area Master Plan

CHARACTER AREA RESPONSE	
Character	The built form character of the Local Centre will be a balance between the contemporary nature of the Stamford Edge and Urban Transition character areas. The character area will provide an area for gathering by a break in its built form, which will also provide connectivity to the adjacent NEAP, a sports provision will also be provided.
Density	Not appropriate to this character area.
Plot width	Not appropriate to this character area.
Private Amenity Space	Not appropriate to this character area.
Building Rhythm	The proposed broken built form allows for a 'public face' to the development spine road, whilst providing space which can also be flexibly used.
Setbacks	Parallel to the road, the building should have presence on the spine road, and be collocated with the proposed bus stop for ease of access. The proposed set backs will allow this edge to become active, and provide areas of public realm.
Roof line	A pitched roof construction is preferred for this character area.
Materiality	Facades should be primarily brick, and care should be taken to ensure an active street scene fronting the spine road.
Parking	Parking will be provided on plot and to the rear of the proposed buildings, this will ensure that the public facing functions have an active role in contributing to the adjacent streetscape and play areas.

-  Site boundary (65.40 ha)
-  Stamford Edge Character Area
-  Urban Transition Character Area
-  Local Park
-  NEAP
-  Local Centre Built Form
-  SuDS Attenuation
-  Existing Woodland
-  Proposed Woodland Surrounding Phone Mast
-  Sports Provision
-  Pedestrian Route
-  Existing Desire Line Footpaths
-  Road Network



Figure 73; Shared surfaces and example of materiality



Figure 74; Shared surfaces and example of materiality



Figure 75; Shared surfaces interacting with a woodland edge character



Figure 76; Illustrative Local Centre Section

It is proposed that the Local Centre Hub will play several important roles all contained within the same space and building:

- Resource centre for the Country Park – office, reception, information/educational centre, storage and maintenance areas;
- Community facilities – these could include a café space, retail units, nursery facility, young person's space, community hall and/or business units;
- Children's play park – the Monarch's Park National Equipped Area of Play is proposed to be located adjacent to the Local Centre;
- Local sports facilities – the developers are currently considering whether a MUGA or other outdoor facility

could be located within the Local Centre area;

- Car and cycle parking – for staff and visitors to the Local Centre and the Country Park area; and
- Bus stops – for any bus services that serves the Stamford North development.

The Local Centre Hub will play a prominent part in the development of the Monarch's Park area and its design will therefore be a key consideration at the detailed planning stage. As its backdrop is the mature woodland and open wildlife areas of the Monarch's Park County Park it is envisaged that the space, building or buildings plus associated hard and soft landscaping for the area will have a strong rural and soft material palette grounding. This will ensure that the Local Centre

blends aesthetically with its setting and is developed out as a strong design feature of the Monarch's Park character area.

It is hoped that by combining several uses and activities at the Local Centre Hub it will become a strong destination for people living in the area helping to create and foster a sense of community.



Figure 77; View looking towards local centre from Country Park

5.8 URBAN TRANSITION

The 'Urban Transition' will evolve to respond to its complicated contextual position - respecting the rural edge, existing residential development and proposed SUE.



Figure 78; Character Area Key Plan



Figure 79; Character Area Master Plan









CHARACTER AREA RESPONSE	
Character	<p>This character area will transition between the potentially traditional style of the eastern section of the Stamford North SUE, with a contemporary twist, to ensure it relates to the remaining Monarch Park Master Plan.</p> <p>This will be achieved by the use of selected stone detailing on key vistas and features, and careful consideration of the details surrounding windows and ridge lines.</p>
Density	Density varies, 30-40 dwellings per hectare.
Plot width	Plot width varies between 6m - 20m.
Private Amenity Space	Private amenity space should be a minimum of 25m ² within the high density zones, up to a maximum of 100m ² within the lowest density spaces.
Building Rhythm	Due to the size of this character area, density, and therefore rhythm should be varied across the character zone.
Setbacks	All buildings within this character area are to be setback from the road, to allow either planting and/or a fence to delineate the plot boundary.
Roofline	Rooflines should be pitched, but should be arranged to ensure that these pitches are not consistent when viewed from a distance.
Materiality	Stone and brick should be the primary facade materials, with windows finished in a grey tone to contrast the facade. Predominantly tile roofs with colour TBC.
Parking	Parking will be provided on street or in garages, with rear access to parking for dwellings on the main road, to reduce conflicts with bus stop locations and reduce vehicular crossovers.



Figure 80; Density Study

LEGEND

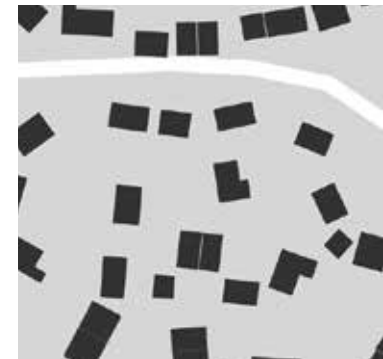
-  High Density
-  Medium Density
-  Low Density

-  Site boundary (65.40 ha)
-  Urban Transition Character Area
-  LEAP
-  Local Park
-  Informal Open Space
-  Pedestrian Route
-  SuDS Attenuation
-  Existing Woodland

HIGH



MEDIUM



LOW



Figure 81; Example of Housing Density



Figure 82; Illustrative View of public open space in Urban Transition character area

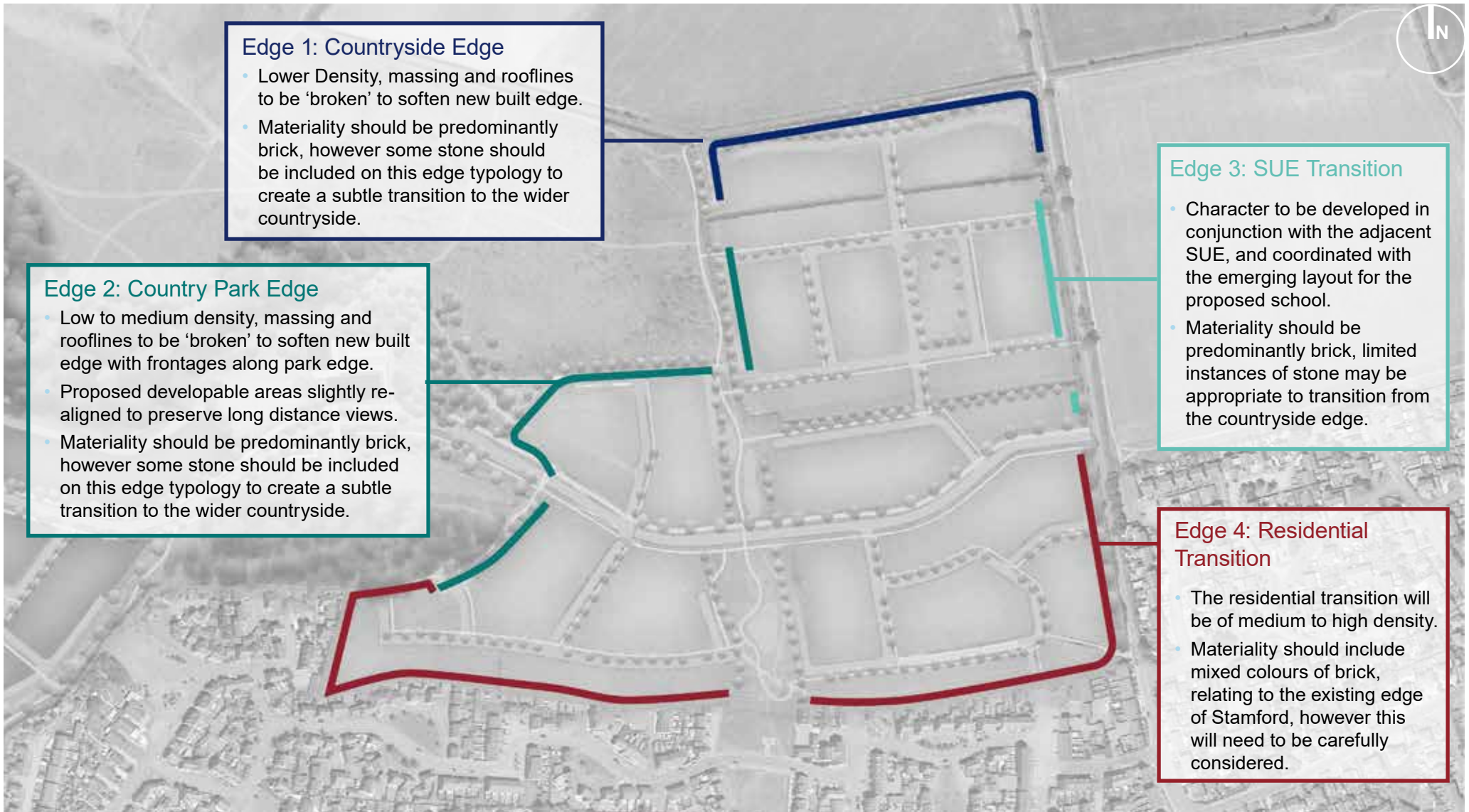


Figure 83: Edge Condition Diagram



Figure 84; Contemporary design combined with traditional stone materiality



Figure 85; Contemporary design combined with traditional stone materiality



Figure 87; Contemporary dwellings with a garden setback



Figure 89; Contemporary design combined with traditional stone materiality



Figure 86; Traditional facade with sensitive window treatment



Figure 88; Traditional material to be deployed in a modern way.

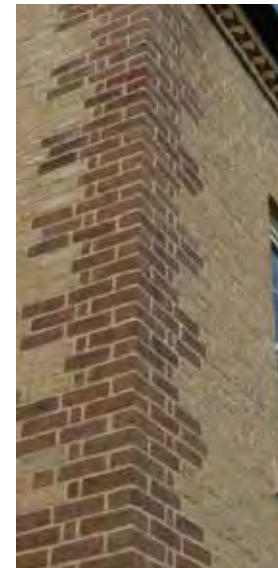




Figure 90: Illustrative View of central open space in Urban Transition character area

5.9 SKETCH PROVING LAYOUT

The sketch proving layout begins to build upon the character areas to develop the built form and housing densities within each. The layout includes a mix of house types and identifies where different street types such as mews, courtyards and rear access dwellings would be appropriate.

One of the key elements of the sketch layout is to develop the character of the spine road, particularly how dwellings are accessed along the spine road, ensuring this is informed by the characterisation study.

For the proportion of the Urban Transition character, to the east of the site, some of the dwellings would be rear access to enable an unbroken spine road. This would result in a safer route for cyclists and pedestrians due to a reduced number of cars accessing driveways from the road. In addition, the swale along the southern side of the road would remain predominantly unbroken, enabling a larger area for surface water drainage. To the west, within the Stamford Edge character, a higher proportion of driveways would be included to provide access to the lower density areas. Again, the swale would remain predominantly uninterrupted with rear access to the dwellings along the south of the road.

A range of courtyards, mews roads, shared access drives and rear access would be introduced to develop different densities within each character area. Different building heights would reinforce the characters as identified in the character areas with a range of 2 to 3 storey dwellings located to create focal points or enhance the relationship with Old Great North Road.



Figure 91: Sketch Proving Layout

5.10 ACCESS AND CIRCULATION

Sport England has developed ten principles to underpin health and wellbeing through sport and physical activity, which can be used to underpin the design and layout to enable active lifestyles for all.

These principles of active design include:



Figure 92; the ten principles of Active Design, Sports England, 2015.

PRINCIPLES OF ACTIVE DESIGN	MONARCH PARK MASTER PLAN RESPONSE
1. Activity for all	<p>A network of pedestrian and cycle routes throughout the master plan have been provided to encourage active modes of transport as the easiest mode of transport.</p> <p>The play strategy includes the creation of play trails and interlinking play areas, to encourage access for all and experiential opportunities for play.</p> <p>Refer to sections 5.9 and 5.10 for further information.</p>
2. Walkable communities	<p>The central location of the local centre or hub has been a key driver in ensuring the Monarch Park master plan promotes an active lifestyle. The critical mass of the two housing character areas on either side will support this as an active local centre, whilst the provision of links with the existing built form will extend the principles of walkable communities into the existing surrounding built form.</p>
3. Connected walking and cycling routes	<p>Street design within the scheme has been planned to create walkable streets, with ease of access to the main road through the scheme, and the bus routes which will service this.</p>
4. Collocation of community facilities	<p>Every effort has been made during the design development phase to ensure the local centre becomes the hub of the new community. With this in mind, the proposed sports facilities have been located to the south of the community facility to encourage the use of this as a hub.</p>
5. Network of multifunctional open space	<p>A generous country park has been provided to the north of the proposed main road, which will provide for connected, circular and biodiverse routes through the development. Opportunities for the meaningful inclusion of biodiverse planting in the streetscape have been considered to encourage a multifunctional streetscape.</p> <p>Several local public open spaces or greens have been provided as part of the development of the scheme. These spaces will include provision of local areas of play, in addition to their wellbeing and biodiversity opportunities.</p>

PRINCIPLES OF ACTIVE DESIGN	MONARCH PARK MASTER PLAN RESPONSE
6. High quality streets and spaces	Ensuring high way lit streets and public spaces will be a key determinant of the success of the Monarch Park Master Plan. The primary, secondary and tertiary routes through the site aim to provide safe, and where possible separate routes for pedestrians and cyclists from vehicles.
7. Appropriate Infrastructure	In any detailed schemes bought forward, the detail of infrastructure will enable all members of society to participate in sport and physical activity. This will reinforce their central location within the master plan, planned to ensure equitable access by active means, public transport or by private vehicle.
8. Active buildings	Local Centre buildings have been collocated with the sports provision for the community to encourage a critical mass for the establishment of a community. These buildings have been designed to enable deliveries to the local centre communities, with parking to the rear, to prioritise the community function of the local centre. These buildings should have open and active frontages to the main streetscape, with a proposed Neighbourhood Equipped Area of Play to it's frontage to create opportunities for interaction between these facilities.
9. Management, maintenance, monitoring & evaluation	It is envisaged that the Country Park and Local Centre will be separate entities managed independently.
10. Activity promotion and local champions	Active travel will be promoted within the travel and transport pack for new residents. Pedestrian and bike routes separated from vehicular traffic have been proposed along the main spine route through the site, to increase the safety of these routes, and their use by less confident users. This link will be supplemented by a number of routes through open space adjacent to residential areas, and within the wider Country Park.



Figure 93; Encourage Journeys By Bicycle



Figure 94; Opportunity to Create Active Communities



Figure 95; Inclusive Play for Residents and Visitors of All Ages



LEGEND










-  Red line boundary
-  Proposed Bus Route as part of Stamford North SUE
-  Proposed Bus Route Access as part of Stamford North SUE
-  Proposed Indicative location for bus stop
-  400m Isochrone - 5 minutes Walk
-  Cycle/Footpath Access
-  Cycle/Footpath Route
-  Home Zone Road
-  Country Park Circulation

Figure 96: Access and Circulation Diagram

SUSTAINABLE TRANSPORT ROUTES

Sustainable, and self-propelled methods of transport have been considered at the heart of the proposals for Monarch's Park. The master plan has been developed to consider opportunities for connectivity with the existing built form, whilst the proposals have been considered to promote access to the proposed local centre.

The primary roads through the site have separated pedestrians and cyclists from vehicular users to maximise safety whilst ensuring that these routes are



Figure 97; Encourage Sustainable Travel From A Young Age

open to cyclists of all levels, and allows for the proposed primary road route to form part of the Stamford Green Wheel. Where separated routes are not possible, this has been restricted to routes which will be travelled at lower speeds to promote safety.

Efforts will be made to achieve Part M compliant gradients along these primary road routes to ensure they are suitable for a range of abilities and fitness levels.

PUBLIC TRANSPORT

For longer distance travel, a number of bus stops have been located as part of the Stamford North SUE. This includes the provision of three bus stops in proximity to Monarch Park.

PRIVATE VEHICLES

In July 2018, the Department for Transport issued 'The Road to Zero: Next steps towards cleaner road transport and delivering our Industrial Strategy' which sets out the strategy to put the United Kingdom at



Figure 98; Incorporate Electric Car Charge Points, Image Source: Rolec

the forefront of the design and manufacturing of zero emission vehicles, and for all new cars and vans to be effectively zero emission by 2040, dovetailing with the UK's 2050 'net zero' carbon pledge.

This welcome step will encourage the installation of private charge points, and encourage the development



Figure 99; Preferred hierarchy of movement

of a world leading electric vehicle infrastructure network. This will improve the overall sustainability of private vehicles, however their choice should be at the bottom of the transport choice hierarchy to encourage active travel.

As part of the proposed development, adaptable power sockets on the external walls of properties and communal charging points at the local centre are proposed.

LITTLE CASTERTON ROAD JUNCTION

In the event that the link road connects to Little Casterton Road, prior to full onward connection to the rest of the SUE to the east, a temporary junction will be designed to integrate into the character of Little Casterton Rd, and this would be secured by condition as part of the reserved matters for the relevant phase.

STREETSCAPE DESIGN

To reinforce the identified character areas within the design, the detailing of the primary road will vary to respond to the zone through which it is travelling, whilst still responding to the overall 'Parkland' character for the site, shown illustratively in the Figure below for reference.

This character area provides the overarching character inspiration for the detailed design of each primary road



Figure 100; Site-wide character areas.

layout throughout the site. Please refer to the following pages for further details.

The primary road will feature three separate character areas, to reflect the character areas through which they travel. This will be supported by secondary and tertiary streetscapes which combine opportunities for circulation of all types, and an allowance for nature within each streetscene. A preliminary design for a 'homezone' access route has also been provided, which can be used for accessing restricted dwellings.

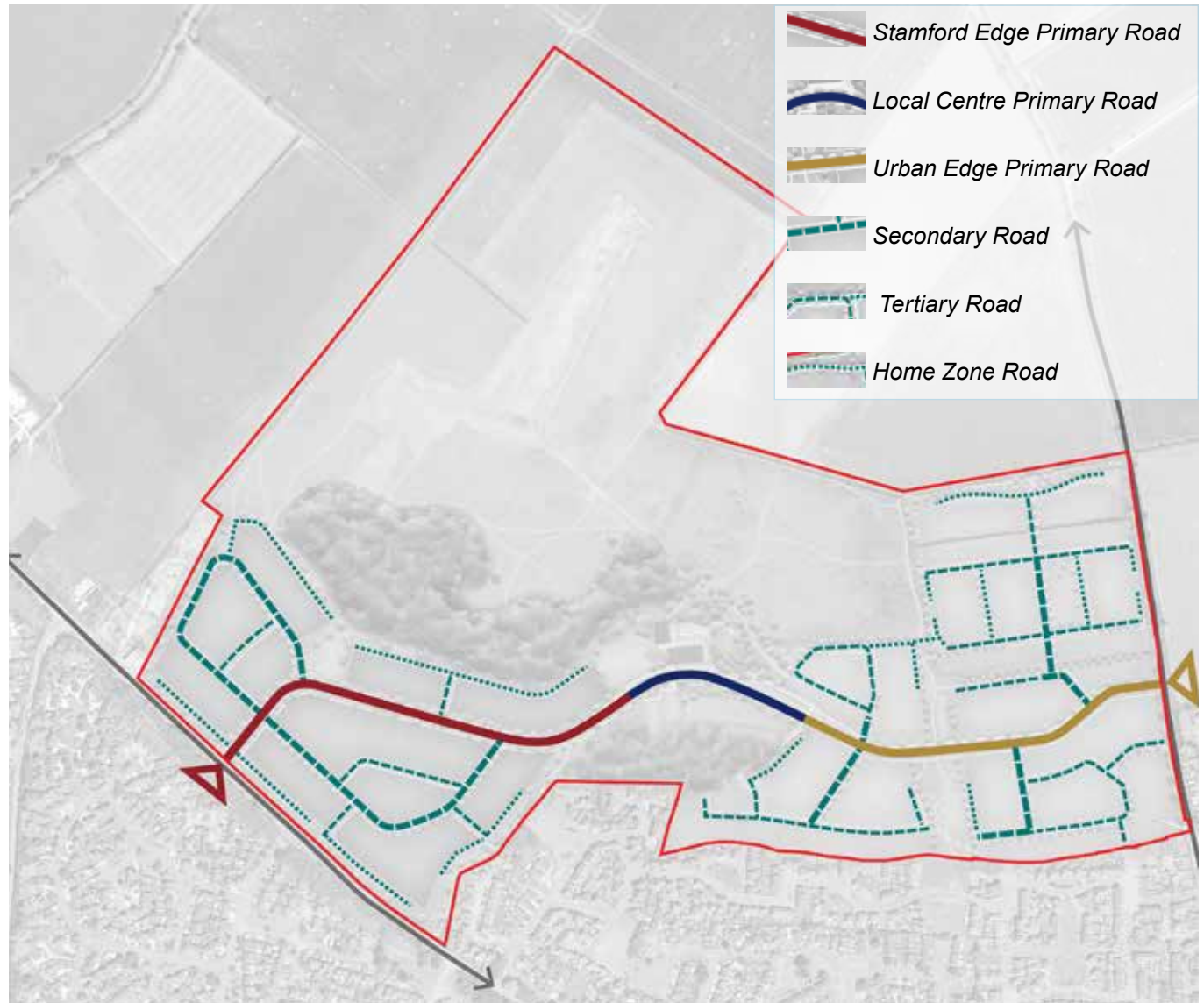


Figure 101; Proposed Vehicular Circulation

STAMFORD EDGE PRIMARY ROAD

The primary road design for the Stamford Edge typology aims to bring the 'green' of the surrounding woodland into the development. This arrangement will generally be informal in nature, with opportunity to integrate Sustainable Drainage Systems for surface water. The general strategies identified for this character area include:

- Hedgerow boundaries to dwellings, with driveways limited to locations where rear access is not possible;
- All pedestrian and cycle routes separated from vehicular traffic;
- Footpaths and cycle paths on either side of the road;
- Tree lined verges on either side of the road;
- Opportunity to integrate generous bus stops into planted verges; and
- Potential for swale or other SuDS feature to be incorporated into road design.

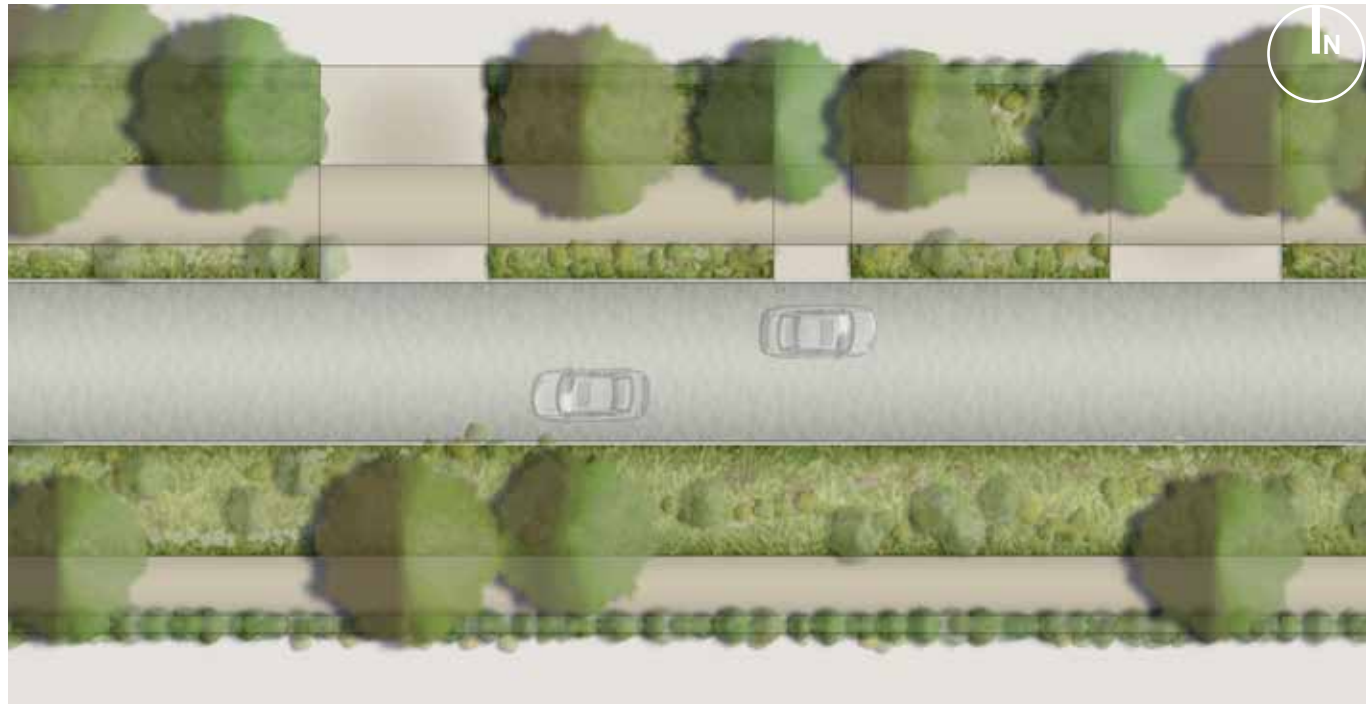


Figure 103; Proposed Stamford Edge streetscape arrangement



Figure 102; A verdant streetscape with planted boundaries and segregated paths Figure 104; Proposed Stamford Edge Primary Road Section

LOCAL CENTRE PRIMARY ROAD

The Local Centre primary road design will focus on increasing separation between vehicles and pedestrian and bike routes. Running through proposed and existing woodlands, this will minimise the visual impact of the vehicular route, whilst maximising the connection between pedestrian and shared routes and the local centre. The general strategies identified for this character area include:

- Generous footpaths and cycle paths on either side of the road, opening out onto open space and the local centre;
- Wide green verges on either side of the road to separate vehicles from foot and cycle routes;
- Opportunities will be provided for safe crossing points to link between the proposed sports provision and the local centre;
- A reduced road width of 6.1m; and
- Opportunity for bus stops to be integrated into planted verges.

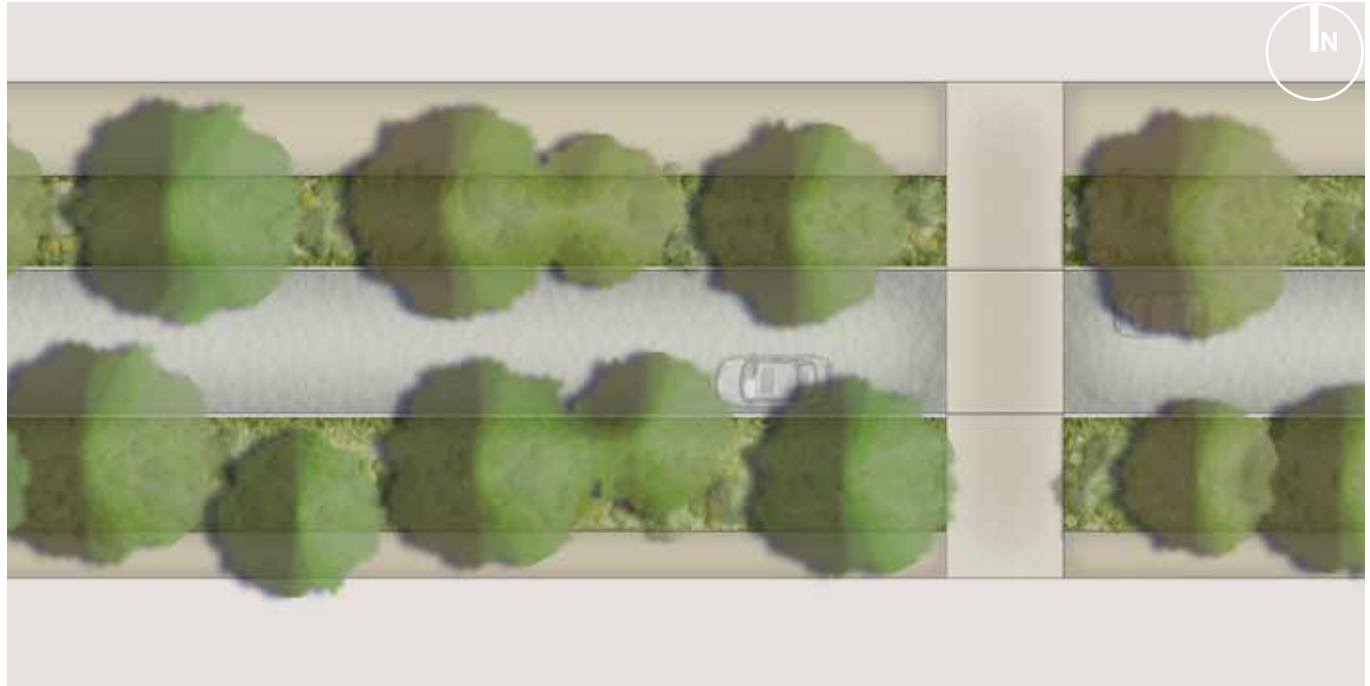


Figure 106; Proposed Local Centre Streetscape arrangement



Figure 105; An example of precedent streetscape connecting with play area



Figure 107; Proposed Local Centre Primary Road Section

URBAN EDGE PRIMARY ROAD

The primary road design for the Urban Edge typology will be of a more formal nature, defined by a combination of walled and fenced boundaries, featuring boulevard planting leading to the remaining parts of the SUE. A 3.5m shared path is provided on one side of the road, with a 2m pedestrian only path is provided on the other. Opportunity for a turfed SuDS feature also exists, which may include trees at strategic locations. The general strategies identified for this character area include:

- A combination of walled and fenced boundaries define the edges of property curtilage;
- Footpaths and cycle paths on either side of the road, separated by planted or turfed verges;
- Trees located more than 5m from the road surface to reduce need the need for root barriers;
- Potential for a swale incorporated into road design.

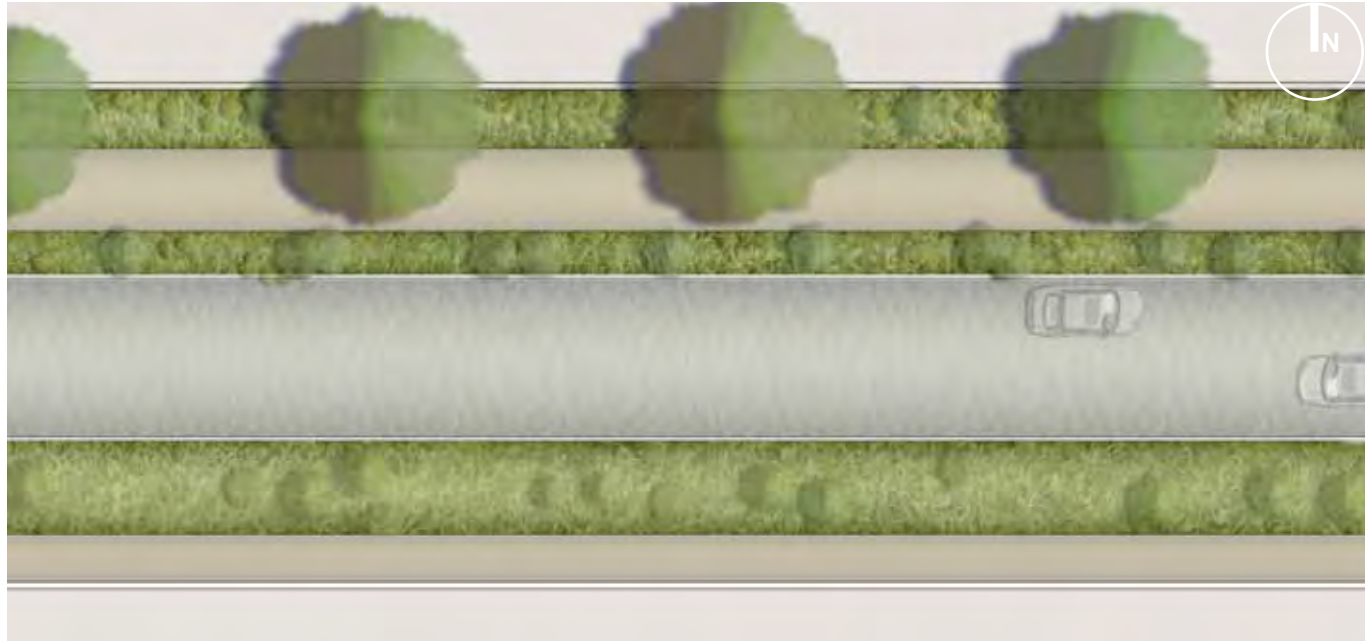


Figure 109; Proposed Urban Edge streetscape arrangement



Figure 108; Formal Streetscape with walled boundaries



Figure 110; Proposed Urban Edge Primary Road Section

SECONDARY ROAD



Figure 111; Proposed Secondary Road Streetscape arrangement

The general strategies identified for the secondary road typical layout include:

- Footpaths on a single side of the road;
- Allowance for a tree lined boulevard, sized to also accommodate visitor car parking;
- Understorey planting to create a verdant streetscape, and create separation between pedestrians and the road.

TERTIARY ROAD



Figure 112; Proposed Tertiary Road Streetscape arrangement

The general strategies identified for the tertiary road typical layout include:

- Footpaths on a single side of the road;
- Allowance for some planting, sized to also accommodate visitor car parking;
- Understorey planting to create a verdant streetscape, and create separation between pedestrians and the road.

HOME ZONE ROAD



Figure 113; Proposed Home Zone Streetscape arrangement

The general strategies identified for the tertiary road typical layout include:

- Footpaths on a single side of the road, adjacent to the carriageway; and
- Limited opportunities for tree planting, reflecting that this layout will most often occur on park edges.

5.11 OPEN SPACE TYPOLOGIES

Of a total site area of 65.40ha, approximately 33.69 ha of the proposals for Monarch Park are proposed as open green space with an additional 6.31 ha of existing and proposed woodland.

The country park provides 35.40ha of informal open space with recreational and biodiversity enhancement opportunities. Additional open space is provided through the integration of amenity green space and smaller local parks. Play areas for children, spaces for young people and a provision for informal sports are proposed to be integrated within these areas of open space. With the abundance of open space throughout the scheme, the proposals generously satisfy all planning requirements for achieving open space policy and target biodiversity net gain.

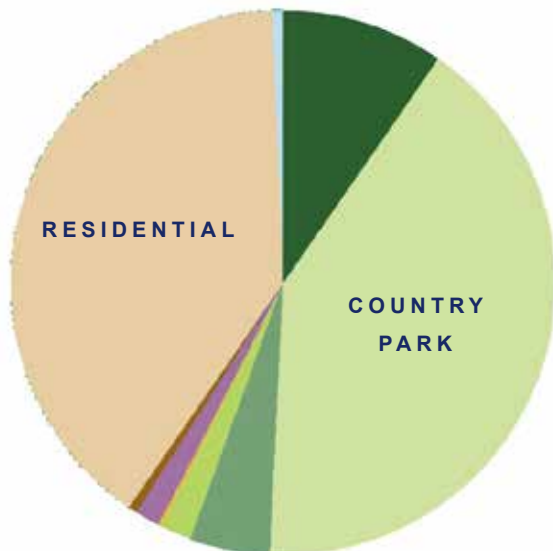
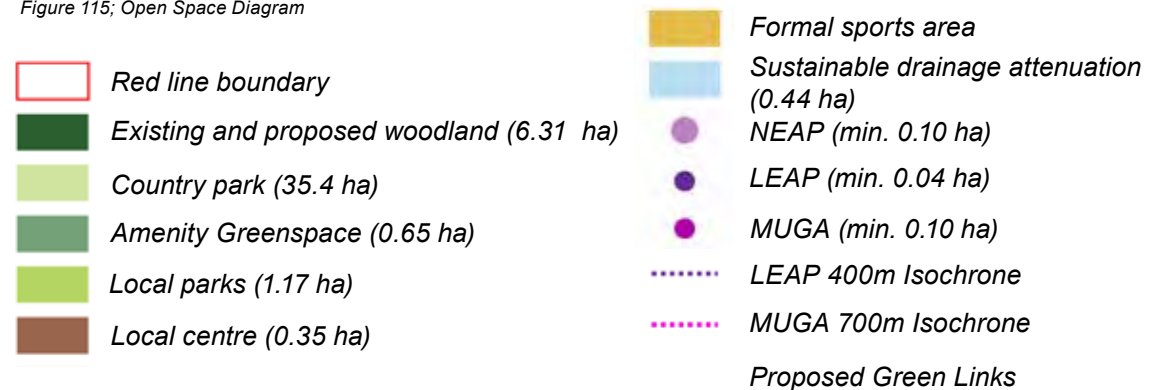


Figure 114; Open Space Land Use Breakdown Chart



Figure 115; Open Space Diagram



Total Site Area	65.40 hectares				
OPEN SPACE POLICY REQUIREMENT <small>(Rutland Open Space Standards)</small>	No. of hectares per 1000 people	Total No. People (based on occupancy rate of 2.4 per dwelling)	Accessibility Standard	Open Space (Ha)	
				Requirement	Provided
Local Parks	Combined standard of 0.40 ha per 1000 people	1560	No standard	0.62 ha	33.69 ha
Country Park		1560	No standard		
Amenity Green Space		1560	10 mins walking		
Provision for Children and Young People (including equipped play and informal recreation)	0.60 ha	1560	1 mins (LAP) – 15 mins (NEAP) walking	0.94 ha	Min of 0.94 ha (inc. 0.19 ha equipped play)
Outdoor Sports Facilities, Playing Fields and Kick about Areas	1.90 ha	1560	No standard	2.96 ha	Min. of 2.96 ha (inc. formal pitches)
Existing and Proposed Woodland	No standard	1560	No standard	No standard	6.31 ha
Total Open Space Provision (Hectares)				4.52 ha	40 ha

Figure 116; Open Space Schedule

OTHER PLAY REQUIREMENTS (Play England)	
Neighbourhood Equipped Area for Play (NEAP)	Min area: 0.1ha Max walking distance: 1000m 30m to the boundary of the nearest property. At least 50m if a skatepark or ballcourt is included. NEAP required from 201 dwellings
Local Equipped Area for Play (LEAP)	Min area: 0.04ha Max walking distance: 400m 10m to the boundary of the nearest property / 20m to the nearest habitable living space. LEAP required from 501 dwellings
Local Area for Play (LAP) or 'door-stop' spaces	Min Area: 0.01ha Max walking distance: 100m 5m between activity zone and boundary of dwellings LAP required from 5 dwellings

COUNTRY PARK



WOODLAND



AMENITY GREEN SPACE



LOCAL PARK

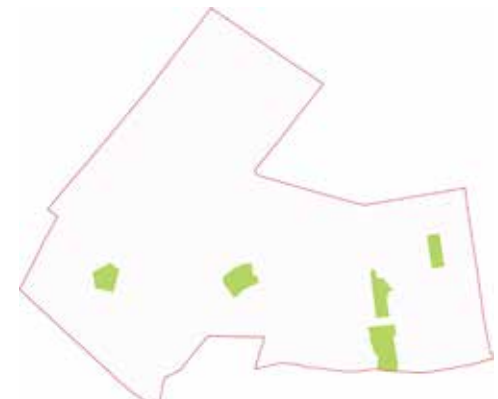


Figure 117; Open Space Typologies

COUNTRY PARK

The proposed country park provides a large area of informal open space and a recreational destination for the local and wider community.

Located to the north of the Site, the Country Park provides an informal, parkland edge to the proposals. There is a strong connection to the adjoining countryside, across which, the existing topography and plateaus enable longer views, providing a distinct sense of place to the park.

The ecological value of the country park will be enhanced through careful consideration of existing and proposed habitat typologies. Existing desire lines are utilised to create an extensive circulation network which is well established and enables circular walking routes.

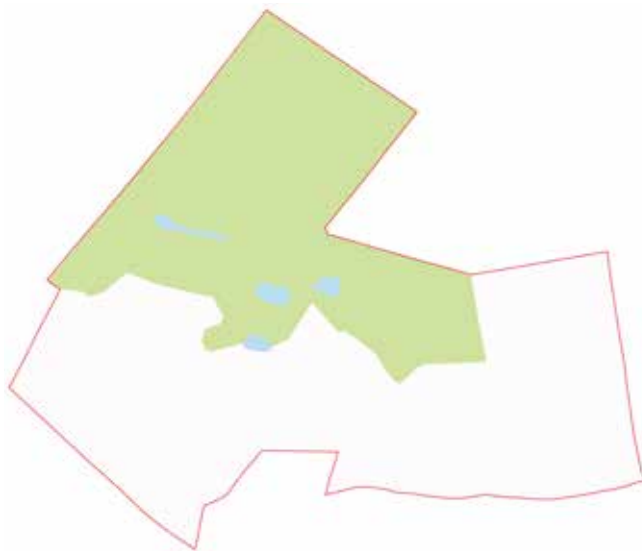


Figure 118; Country Park Typology



Figure 119: Example of Country Park

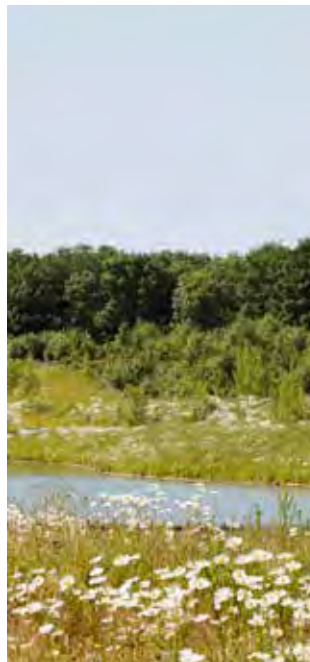


Figure 120; Attenuation Feature



Figure 121; Informal Footpaths



Figure 122; Informal Open Space



Figure 123; Informal Recreational Opportunities



Figure 124; Informal Walking Routes

WOODLAND

The proposals incorporate approximately 6.35 hectares of woodland which includes some proposed woodland surrounding the telephone mast.

The mature woodland is a key feature of the existing site and provides an opportunity for a distinct character to be drawn from, particularly within the play strategy where natural play can be encouraged. There are existing footpaths which align through the woodland and these shall be retained and enhanced with a potential greater level of forestry management as part of the country park.

The woodland provides a different experiential route which can be utilised by school groups for educational uses, to help children interact with different types of environments.



Figure 126; Interactive Play Opportunities



Figure 128: Accessible Woodland

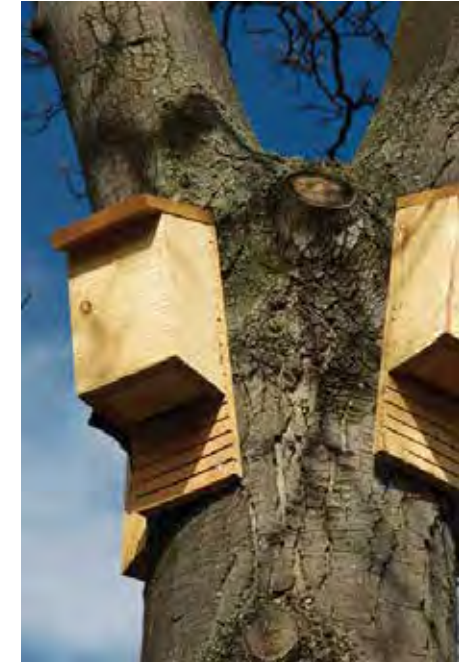


Figure 130: Encouraging Biodiversity



Figure 127; Opportunities for Seating



Figure 129; Enhancing Biodiversity



Figure 125; Woodland Typology

AMENITY GREEN SPACE

The proposals include areas of informal open space located close to residential areas, providing opportunities for informal activities, informal play and ecological enhancements.

This type of open space provides structural landscaping, integrating elements such as drainage attenuation and swales. These should be considered as part of the landscape and developed to enhance the local biodiversity as well as being attractive features which enhance the sense of place of each neighbourhood.

Opportunities for informal play to encourage children and young people to engage in physical and social activities.

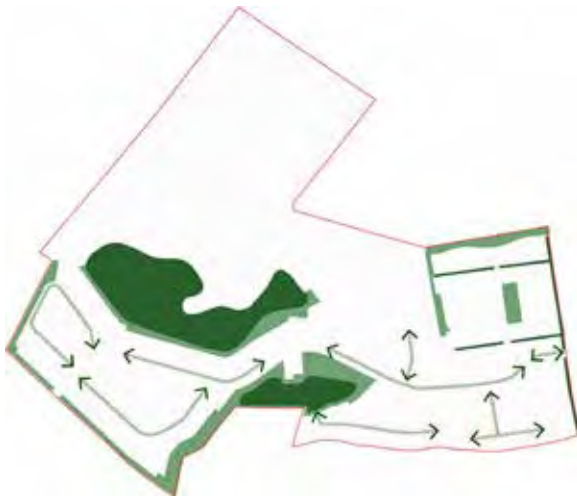


Figure 131; Amenity Green Space Typology



Figure 132; Informal Play Opportunities



Figure 135; Example of Attenuation Feature



Figure 133; Example of Swales



Figure 134; Biodiversity



Figure 136; Example of Multi-Functional Recreational Uses

LOCAL PARKS

Easily accessible parks are located at strategic points across the master plan ensuring the residents enjoy equitable access to this type of open space.

Local parks provide places for informal recreation and community events. They provide the additional benefit of supporting the creation of a sense of place for the local community and provide the opportunity for ecological and educational enhancements.

Located with overlooking from dwellings and with plenty of seating help to ensure the parks benefit from passive surveillance. Play spaces including LEAPS and NEAPS are proposed to be located within the local parks and inform the sense of place of the proposals using natural materials which respond to the local context and through diverse and seasonal planting.



Figure 138: Example of Community Uses



Figure 140: Natural Play



Figure 142: Seasonal Interest

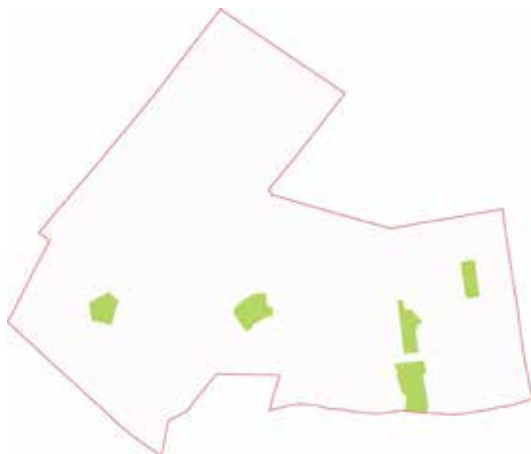


Figure 137: Local Park Typology



Figure 139: Open Space and SuDS



Figure 141: Areas for Seating and Interaction



Formal play opportunities have been created in conformity with policy, and their detailed design should be considered in support of Play England's 10 Principles of Play.

THE 10 PRINCIPLES OF PLAY

The ten principles of play identify successful play spaces as:

- *'bespoke'*
- *'well located'*
- *'make use of natural elements'*
- *'provide a wide range of play experiences'*
- *'are accessible to both disabled and non-disabled children'*
- *'meet community needs'*
- *'allow children of various ages to play together'*
- *'build in opportunities to experience risk and challenge'*
- *'are sustainable and appropriately maintained'*
- *'allow for change and evolution'*

Preliminarily LEAP and NEAP locations have been identified, however doorstep play opportunities should be integrated into the scheme, along with appropriately placed LAPs within parcels. Doorstep play need not necessarily be a dedicated play space, but may also double as informal seating opportunity inviting interactions between age groups and residents.



Figure 143: Illustrative location of play facilities

- NEAP
- LEAP
- MUGA
- NEAP Isochrone (1000m)
- LEAP Isochrone (400m)
- MUGA Isochrone (700m)



Figure 144; Structured And Unstructured Play Opportunities



Figure 145; Natural Play and MUGA

HOW CAN THIS APPLY MONARCH'S PARK?

With a strong character including existing woodland, the play facilities at Monarch's Park should draw upon these characteristics to provide connection and sense of place to the play facilities.

The play facilities are located in strategic positions across the master plan including a central NEAP adjacent to the local centre and opposite, an area for sports provision. The areas for play including both equipped and informal areas for play, are proposed adjacent to existing woodland and within local parks and amenity green space. They should draw from these characteristics through the use of natural play equipment and provide a range of experiences.

APPROACH TO PLAY

Play provision at Monarch's Park should be as flexible as possible, encouraging and rewarding imagination, and providing experiences to serve multiple functions. This could be in the form of natural play or play trails which provide play journeys and experiences through the landscape.

INCLUSIVE PLAY

Allowance should be made for play spaces which are suitable for a range of abilities. With this in mind, some accessible play features should be included.



Figure 146; Accessible play features, Sensory Trust



Figure 147; Natural materials providing context for play

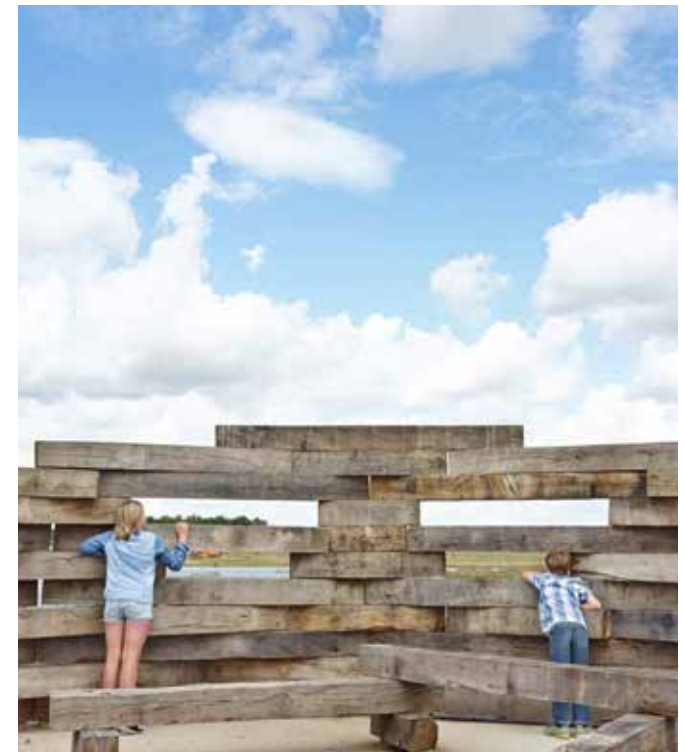


Figure 148; Topography adds interest to play areas





6.0

CONCLUSION

6.1 CONCLUSION

The document demonstrates a comprehensive review of the site and its surrounding context, including identifying the site's constraints and opportunities for development. The unique setting and location on the edge of Stamford has informed the proposals and set out the design principles of the development.

The existing character of the site and its setting, including the built form character of Stamford itself have been carefully considered in developing the proposals. Significant open space proposals interlink the developable areas whilst the Country Park brings an expansive and diverse recreational place which will attract local and wider visitors.

The opportunities to increase habitats and biodiversity are extensive, which are not limited to the Country Park. Different open space typologies across the proposals will enable a range of habitat opportunities including attenuation ponds and diverse planting.

A range of natural play areas will form a form an interlinking play strategy to enable children to experience play across different landscape



Figure 149: Illustrative aerial view of Monarch Park



6.2 BUILDING FOR LIFE ASSESSMENT

In response to Policy EN3, a Building for Life 12 Assessment has been undertaken. The design team regularly provides such informal assessments of proposed and completed projects, and has also provided training for Local Authority staff and councillors undertaking reviews of finished schemes.

The assessment of the Monarch Park master plan is presented here.

TOPIC	ASSESSMENT	SCORE
INTEGRATING WITH THE NEIGHBOURHOOD		
1. Connections	Monarch Park is located alongside and adjacent to a number of existing communities. It takes the opportunity to connect directly with these different areas, with a common purpose of connecting existing and new residents to one another and to enable both to benefit from the facilities being provided by the proposal – notably the country park. Connections are made at logical points and will allow for obvious and legible routes to the destination, and routes are always located within overlooked public realm.	
2. Facilities and Services	The development provides a community hall, sports facilities, accessible open space, play areas and a country park. The local centre is located at the heart of the development, being obvious in its location and helping to make a connection between the built form and the country park. Routes to the local centre have been designed to be off-street for pedestrians and cyclists.	
3. Public transport	The development's structure responds to the larger Stamford North Urban Extension in order to provide a single, legible spine road through the new communities. This has the potential to link into a circular bus route. The built form has a linear arrangement relating to the spine road and, for the majority of the scheme, the walking distance to the bus route would be short. Some parcels in the north-eastern area of the site would be more distant from the route if it serviced only the spine road.	
4. Meeting local housing requirements	Monarch Park provides up to 660 dwellings as a direct response to the provision of housing with Rutland and South Kesteven.	
CREATING A PLACE		
5. Character	The scheme has been structured to respond to its position on the edge of the historic town of Stamford, but also recognises its direct relationship with some of the 20 th century suburbs alongside. In seeking to create a development with an authentic character which sits comfortably on the edge of the town and adjacent to open countryside, the development aims to create three distinct character zones. Whilst these zones will have differing densities and layout characteristics, all will respond to the common material palette which is typical of the local vernacular – avoiding a random mix of materials. This will help to unify the development and provide it with a strong sense of place. Furthermore, the scheme aims to focus on simple arrangements of well-proportioned built form, creating streets which create active frontage and spaces which are of a suitable scale and well overlooked.	

5. Working with the site and context	The masterplan has evolved from a fundamental intention to make the best of the existing site's qualities: notably the existing woodland and its relationship with the open countryside. Direct relationships with existing suburban edges have been overcome by creating connections and orientating new built form so that the existing 'backs' are minimised.	
7. Creating well defined streets and spaces	The formation of perimeter blocks, and a hierarchy of streets has been a principal objective of the masterplan. These blocks have been formed to ensure active frontage to public realm and to take account of relationships with existing woodland/edges so as to maximise the character of the spaces being formed. The open spaces are focussed on the northern side of the site but have been drawn into the built form wherever possible to make direct connections with the countryside.	
8. Easy to find your way around		
STREET AND HOME		
9. Streets for All	The layout and the street hierarchy has been designed with all modes of movement considered. Whilst there is necessarily a spine road for provision of principal access and servicing, provision has been allowed for walking and cycling along this route, and also for the movement of these modes into the secondary and tertiary streets. Public cul-de-sac routes have been avoided, and connecting loops have been maximised. There is potential for 'home zones' to be created in certain parts of the site. These are areas where vehicles and cyclists/pedestrians would be required to share space and where specific provision is made for vehicles based on current highway standards – these can limit the flexibility of sharing use but have been designed to minimise the effect of separation as far as possible.	
10. Car parking	Car parking has been allowed for within the design to be as close and directly-connected to the users as possible. Large rear parking courts have been avoided in favour of on-plot or associated frontage parking. The provision of parking in this manner can lead to vehicles being more prominent in the streetscene, but solutions to design this impact out have been employed.	
11. Public and private space	The definition of public and private space is very clear within the master plan. The scheme is based on the urban design principles of active frontage and perimeter block. To a high degree, 'backs' adjoin 'backs' to maintain these blocks and active frontages help to animate and provide passive surveillance to streets and spaces.	
12. External storage and amenity	As the masterplan is based on perimeter block principles, the potential for suitable storage and amenity can be a positive outcome due to the structure resulting. Wherever possible, private gardens are located within the block and direct access would be provided to allow for refuse and cycle parking. Some aspects of this require a more detailed design response at a later stage in the process.	

6.3 BUILDING WITH NATURE

A matrix providing a broad overview of how Monarch's Park has engaged with the Building with Nature framework (BwN 2.0) has been provided.

		STANDARD	RESPONSE
CORE STANDARDS	1	<p>OPTIMISES MULTIFUNCTIONALITY AND CONNECTIVITY</p> <p>Optimises multifunctionality and connectivity within the boundary of the project and links with existing and planned for green infrastructure in the surrounding area.</p>	<p>As part of the wider Stamford North Strategic Urban Extension, this site is one part of a wider planned development with Green Infrastructure. Within the Monarch's Park site, opportunities to connect with adjacent green spaces and walking routes have been carefully considered to ensure the proposed development creates wider Green Infrastructure connectivity wherever possible.</p>
	2	<p>POSITIVELY RESPONDS TO THE CLIMATE EMERGENCY</p> <p>Is designed to be climate resilient by incorporating mitigation and adaptations that respond to the impacts of climate change. The green infrastructure is designed to promote low carbon behaviours and contributes to achieving zero carbon development by optimising carbon sequestration and demonstrating low carbon approaches to design, construction, and long-term maintenance.</p>	<p>The master plan prioritises low carbon behaviour, by promoting the principles of active design. Along the main spine, vehicles and cycles are separated from vehicular traffic, whilst this route will also provide for a bus service linking into the existing Stamford network.</p> <p>The location of the local centre or 'hub' at the centre of the site is intentional to ensure it is equally accessible from both areas of Monarch's Park, and easily accessible off the proposed bus route.</p> <p>Comprehensive SuDS features throughout the scheme aim to make surface water, and it's treatment visible, and link from the primary vehicular routes, into the wider SuDs system located throughout the open space.</p>
	3	<p>MAXIMISES ENVIRONMENTAL NET GAINS</p> <p>Is designed to actively mitigate any unavoidable harmful environmental impacts of development on soil and air quality and to minimise light and noise pollution. In addition, it delivers environmental net gains, including improving air and water quality and wherever possible includes quiet spaces for people and wildlife.</p>	<p>Subsequent full planning applications will provide further detail on any required further environmental mitigation, with a net biodiversity gain possible for the site and it's layout.</p> <p>An extensive area of public open space, with a variety of park sizes and formats will ensure quiet spaces for both people and wildlife.</p>

		STANDARD	RESPONSE
CORE STANDARDS	4	<p>CHAMPIONS A CONTEXT DRIVEN APPROACH</p> <p>Positively responds to the local context, including the physical environment, such as landscape and urban character and social, economic, and environmental priorities, including the evidenced needs and strengths of existing and future local communities.</p>	<p>Section 5.0 of this document has indicated how the contextual built form of Stamford and the surrounding villages has informed the built form, materiality and other physical attributes of the scheme. This complements the baseline analysis undertaken in Section 2.0 which examines the physical, character and planning context of the site, to ensure this informs the development of a scheme which comprehensively responds to it's context.</p> <p>Future communities are considered in the location of the proposed local centre or 'hub' and the comprehensive strategic links which have been proposed, including varying methods of access.</p>
	5	<p>CREATES DISTINCTIVE PLACES</p> <p>Is integral to the project and is designed to reinforce local distinctiveness and/or create a distinctive sense of place.</p>	<p>Detailed work has been undertaken to understand the context of the site, and the way in which the local character exerts an effect on the site (please refer to Section 5, above). This has in turn informed the way in which the master plan has been developed, and will ensure the proposals are reflective of it's place within the built form of Stamford.</p> <p>Efforts have been made within Monarch's Park to create localised character areas which are appropriate and reflective of each of their locations and context, by creating links with both the built and natural environment.</p>
	6	<p>SECURES EFFECTIVE PLACE-KEEPING</p> <p>Is subject to management arrangements that demonstrate a commitment to effectively implement, establish and maintain features at all stages of the development process. This should include details of funding, governance, maintenance, monitoring, remediation and, where appropriate, community involvement and stewardship.</p>	<p>Significant care has been taken by the applicant to ensure that the Country Park is sustainably managed over a long term horizon by engaging with a not for profit management model.</p> <p>Provision for the long term management of the residential areas of the master plan shall be considered as detailed application(s) are made.</p>

		STANDARD	RESPONSE
WELLBEING	7	<p>BRINGS NATURE CLOSER TO PEOPLE</p> <p>Is close to where people live, work, learn, play and/or visit, and is designed to optimise use and enjoyment for everyone across the year, to maximise health and wellbeing outcomes and to promote active living for existing and future communities.</p>	<p>The master plan has been structured to ensure areas of local open space are integrated into close proximity of residential areas. These spaces provide excellent connectivity with the Country Park in the northern section of the park.</p> <p>Consideration of the design of streetscapes ensure that space for trees and nature have been considered in the streetscape, maximising day to day interaction with nature.</p>
	8	<p>SUPPORTS EQUITABLE AND INCLUSIVE PLACES</p> <p>Is designed to encourage and enable everyone, including those from vulnerable or excluded groups, to use and enjoy it, to help reduce health inequalities and to build a shared sense of community and belonging.</p>	<p>The central location of sports and play facilities ensure their equitable access for a variety of user groups, abilities and income levels. This collocation with the Local Centre creates a hub which will benefit from a bus stop to promote ease of access.</p> <p>Well designed and considered pedestrian links will ensure this is well connected with Monarch's Park, and the existing surrounding residential areas.</p>
WATER	9	<p>DELIVERS CLIMATE RESILIENT WATER MANAGEMENT</p> <p>Is integral to sustainable drainage using above ground features to manage flood risk, maintain the natural water cycle and improve water quality within the boundary of the project and at a catchment scale. The green infrastructure is designed to be drought resistant and wherever possible, includes measures for the retention and reuse of rainwater.</p>	<p>A comprehensive Sustainable Drainage scheme has been proposed, which will aid in the management of flood risk. The opportunity to provide a comprehensive network of swales within the master plan creates a significant opportunity to maintain the water cycle, and with appropriate riparian and wet planting to improve the water quality within the boundary of the project, and onwards to any catchment outflows.</p> <p>This system will be complemented by a variety of detention / attenuation basins, which will complement the existing wet areas to be retained within the Country Park.</p>
	10	<p>BRINGS WATER CLOSER TO PEOPLE</p> <p>Is designed to integrate water, including areas of standing water, flowing water, seasonal and ephemeral features, to bring additional amenity and wildlife benefits.</p>	<p>The proposed layout brings storm water treatment closer to residents and visitors, residents by integrating Swale and SuDS features throughout the open space of the development. A connection with storm water will be at the centre of the character of the proposed development, with a Swale running along the spine road throughout the scheme, catering for runoff from the spine road and pedestrian routes, creating a direct visual connection with the water cycle for future residents.</p>

		STANDARD	RESPONSE
GREEN INFRASTRUCTURE	11	<p>DELIVERS WILDLIFE ENHANCEMENT</p> <p>Optimises long term and climate resilient net benefits for nature, by retaining and enhancing existing ecological assets and creating locally relevant new habitats within the boundary of the project. Wildlife measures are secured at all stages of implementation and where applicable, across multiple phases of development.</p>	<p>Biodiversity Net Gain has been planned into the master plan, with an extensive Country Park located in the north of the site, in addition to space for nature within the developable area.</p> <p>Existing areas of woodland have been preserved, with areas of expansion proposed as part of the proposals.</p>
	12	<p>UNDERPINS NATURE'S RECOVERY</p> <p>Creates effective links with existing and planned for ecological features and networks beyond the boundary of the project to support the creation and restoration of resilient ecological networks in the wider landscape.</p>	<p>The built form has been carefully considered and developed to create links with and retain existing ecological networks wherever possible. The proposed Country Park builds on and protects an existing area of green space and woodland blocks, securing their future. These existing features have been used to define the built form, by creating linkages wherever possible.</p> <p>Linear parks and greens have been included in various locations throughout the masterplan, often to link with existing green spaces outside of the Monarch's Park master plan area, whilst typical road design has been carefully considered to allow space for a green streetscape, and Sustainable Drainage features along the spine road.</p>

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